

**MOUNTAIN VIEW CORPORATE CENTER
AND
CASTLE CREEK
SPECIFIC PLAN DISTRICT HANDBOOK**

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**Prepared for:
Templeton Development Corporation
3311 S. Rainbow, Suite 225
Las Vegas, NV 89146**

**Prepared by:
jawa studio
103 East Charleston, Suite 105
Las Vegas, NV 89104**

and

**CFA, Inc.
1150 Corporate Boulevard
Reno, NV 89502
(Castle Creek)**

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CHAPTER 1 INTRODUCTION

On November 12, 1996, the Reno City Council approved:

- Annexation of two parcels containing 18.43± acres; a master plan amendment from single family residential to office on 6.42± acres; a zoning map amendment from LLR-2.5 (16.57± acres) and A-2 (18.43± acres) to Specific Plan District; a tentative map to allow construction of a 153 lot subdivision on 29± acres; and abandonment of Yoakum Lane. Appendix C includes the adopted conditions of approval for this project. A Final Specific Plan Development Standards Handbook for the project was subsequently approved in 1997. The tentative map for the residential portion of the project and the abandonment of Yoakum Lane, have since expired.

On August 24, 1999, the Reno City Council approved the first amendment to the Specific Plan District. The approved amendment included the following modifications:

- A tentative map to permit development of a 145 lot single-family residential subdivision for seniors, known as “The Homecoming at Reno” and a zoning map amendment to the Final Specific Plan District Handbook to expand the office portion of the project by 0.78 acres and to accommodate the design features proposed for “The Homecoming at Reno”. Appendix C contains the conditions of approval for the amended project. The tentative map is still active and does not expire until August 2001.

On January 23, 2001, the Reno City Council approved the second amendment to the Specific Plan District. The approved amendment included the following requests:

- A zoning map amendment to permit office uses on the entire project site, a tentative map for a commercial subdivision, and a special use permit for non-residential development adjacent to residentially zoned property.

On October 9, 2001, the Reno City Council approved the third amendment to the Specific Plan District. This amendment included the following requests:

- A master plan amendment on 2.35± acres from Single-Family Residential to Special Planning Area, a zoning map amendment from LLR.5 to SPD, and a special use permit for non-residential development adjacent to residentially-zoned property. These requests pertained to 2.35± acres located along the western side of Mountain View Corporate Center. Additionally, the allowed uses were modified to permit an extended stay hotel with certain locational restrictions and to extend the hours of operation for a future restaurant that may be located near the hotel.

On November 26, 2002, the Reno City Council approved the fourth amendment to the Specific Plan District. This amendment included the following requests:

- A master plan amendment on 1.95± acres from Single Family Residential to Special Planning

Area, a zoning map amendment from LLR2.5 to Specific Plan District, and a special use permit for non-residential development adjacent to residentially-zoned property. These requests pertain to 1.95± acres located along the western side of Mountain View Corporate Center. Additionally, the street standards were modified to delete the reference to special paving being installed at major intersection and the traffic circle and the requirement for a minimum lot size was deleted.

This document represents the Fourth Amendment to the Final Specific Plan Development Standards Handbook. The Design Standards in Chapter 3 pertain to the original office portion of the project, which encompasses 5.91 acres located at the southeast and southwest corners of the Del Monte Lane and Kietzke Lane intersection. This portion of the project is referred to as Castle Creek. The Chapter 4 Design Standards follow roughly the same format as the previous chapter but have been modified, where appropriate, to pertain to the Mountain View Corporate Center.

Location

The property is located in southwest Reno immediately west of U.S. 395 (I-580) and south of Del Monte Lane. (Refer to Figure 1-1.) The site consists of 38.90± acres. Adjacent land uses include single family residences to the south in Country Estates; churches, a veterinary clinic, and the future Washoe County Anderson Park to the west; offices to the north; and the U.S. 395 (I-580) freeway to the east.

The Castle Creek portion of the SPD consists of two, existing office buildings on Del Monte Lane. These two buildings are constructed on 5.91 acres. The square footage of the two buildings totals approximately 75,000 square feet, even though the approved Specific Plan District Handbook would have permitted 100,000 square feet to be constructed. Mountain View Corporate Center encompasses the remainder of the property, approximately 32.99 acres. The maximum building square footage in Mountain View Corporate Center is 483,000, which is distributed between several buildings that range from one- to four-stories in height generally located but not limited to the number or specific configuration of the buildings indicated on figure 1-2. (Refer to Figure 1-2.)

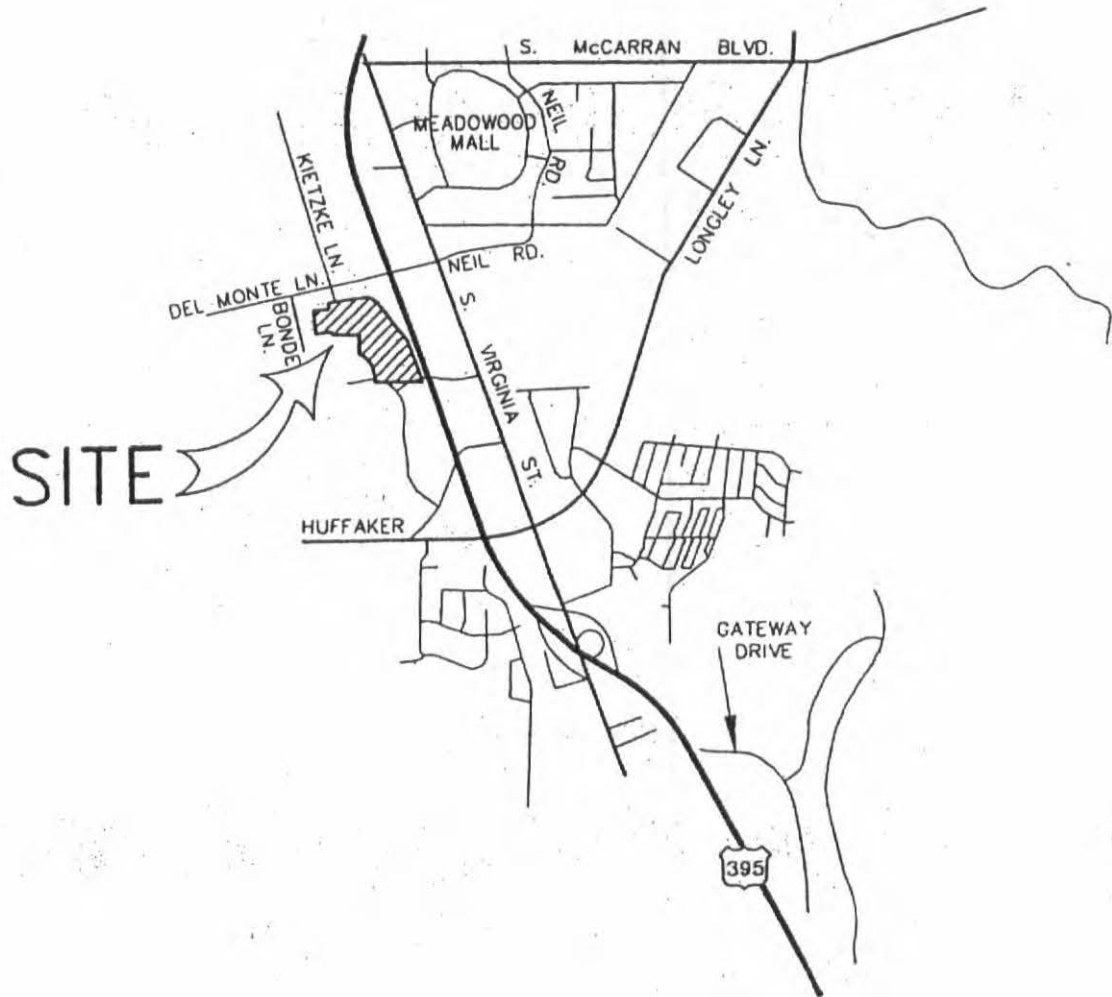


Figure 1-1 Location Map

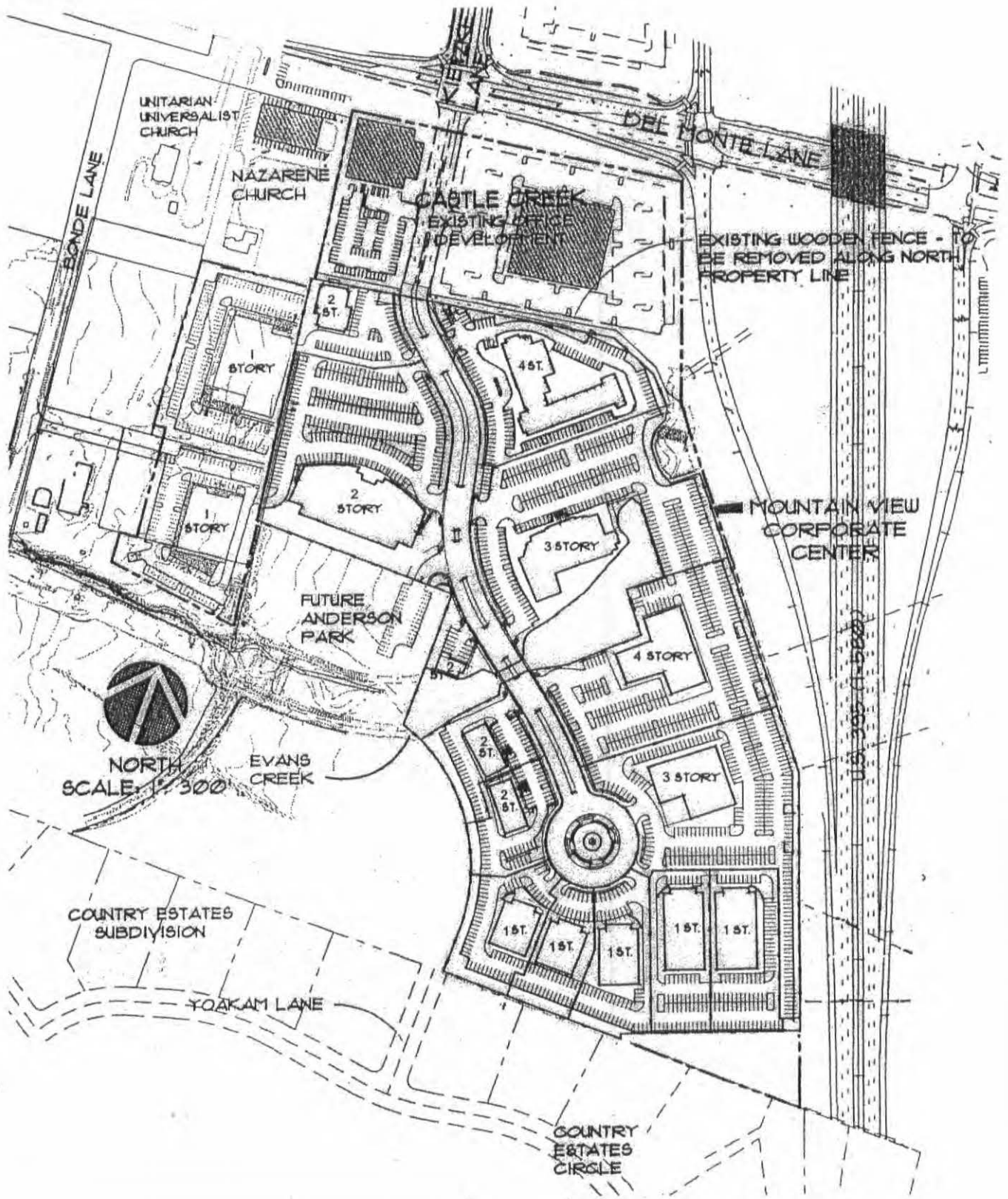


Figure 1-2 Site Plan

CHAPTER 2 STATEMENT OF PURPOSE AND PLAN

Land Use Compatibility

Castle Creek and Mountain View Corporate Center are designed to be compatible with adjacent land uses. There are four areas of compatibility:

- **Compatibility with the Freeway**

U.S. 395 runs parallel to Castle Creek on the east side and will be effectively buffered from the site. Landscaping, building setbacks, and a 6-foot high masonry wall may separate the offices from the freeway. A mix of 6- to 8-foot tall evergreens and 1 ½" – 2 ½" caliper deciduous trees will be planted.

- **Compatibility with Country Estates**

Mountain View Corporate Center will be very considerate of the existing Country Estates neighborhood to the south. As described in Chapter 4, a 6-foot high masonry wall will be constructed along the south property line. Large evergreen (i.e., 10-20 feet tall) and deciduous trees will be planted on a berm in the landscaped buffer. The average spacing between both evergreen and deciduous trees will be approximately 16 feet. The southernmost buildings, which are one story in height, are setback from the rear property line adjoining Country Estates approximately 90 feet.

- **Compatibility with Anderson Park**

A 6-foot high fence that is a combination of masonry and iron will be installed along the common property line. A mix of evergreen and deciduous trees will be planted to provide screening, yet maintain views into the park.

- Evergreen screen trees:
 - 20-foot tall size, planted at an average spacing of 50 feet on center.
 - 16-foot tall size, planted at an average spacing of 65 feet on center.
 - 10-foot tall size, planted at an average spacing of 225 feet on center.
- Deciduous trees planted at an average spacing of 90 feet on center.
- The average spacing between trees will be approximately 17 feet.

- **Compatibility with Private Property Along West Property Line**

A 6-foot high ornamental fence will be provided along the common property line. A 20-foot wide landscaped area with a 3-foot berm will be planted with evergreen and deciduous trees that will buffer and screen existing development. The average spacing between trees will be approximately 22 feet.

Distinctive Identity

The goal of Mountain View Corporate Center is to nurture its own distinctive identity. The project will be a Class 'A' business park with common open space, landscaped parkways, pedestrian walks, and outdoor public areas. The project will include open space adjacent to Evans Creek, with outdoor seating areas to integrate the business community with the indigenous landscape. Streetscape, street, and parking lot lighting, signage, and landscape throughout the project will be integrated to create a sense of continuity among the office park.

CHAPTER 3 DESIGN STANDARDS - CASTLE CREEK (NORTHERN 5.91 ACRES)

A. Office Parcels

- Lot Size: One half acre minimum
 - Maximum Square Footage Allowed 100,000 square feet
- Location Guidelines:
 - Office parcels will border Del Monte Lane between the east and west property line and the west side of the Kietzke Lane extension. (See Figure 1-2, Site Plan.)
- Acreage:
 - Maximum 5.91± acres
- Allowed Uses:
 - Art galleries, museums, and libraries.
 - Professional, business, financial, medical, civic or public utility offices.
 - No retail activity, display of merchandise, or storage of retail goods is permitted.
 - Child care facilities.*¹
 - Accessory uses customarily incidental to the above permitted uses.

*Note 1: Acoustical studies shall be submitted with an application for either a building permit or business license for a day care center. No building permit or business license shall be issued until the administrator has sufficient documentation to show that the following sound levels are not exceeded for properties to the south and west.

Interior noise level	40 dba maximum
Exterior noise level	65 dba maximum

- Parking:
 - Upon application for either a building permit or business license, the applicant shall provide to the City a cumulative calculation of parking required verses parking provided to ensure that an adequate number of parking stalls are available. A permit or license will not be issued until parking requirements are satisfied.
 - Office - 1 stall per 250 square feet GFA*²
 - Medical office - 1 stall per 200 square feet GFA*²
 - Childcare facility - 1 per employee on the highest shift plus 1 drop off space per 6 children.
 - Other uses - For other uses allowed above, parking shall be provided in accordance with RMC 18.06.340. For uses not contained within RMC18.06.340, the applicant shall supply sufficient information on similar projects to allow the administrator to adequately determine alternative parking requirements.
 - In all cases, the administrator shall have the authority to vary parking requirements if the applicant is able to provide sufficient information on similar projects (a minimum of three similar projects) to demonstrate that alternative parking requirements are justified. Examples of justification could include shared parking during off-peak hours or more recent studies showing different parking demands.

- Parking stall sizes shall conform to requirements of RMC 18.06.340. An exception is that 90° stalls may be 17.5' x 8.5' in dimension with a 26' wide aisle. No compact stalls are allowed with this option.
- All other parking requirements shall conform to requirements of 18.06.340 (including accessible parking)

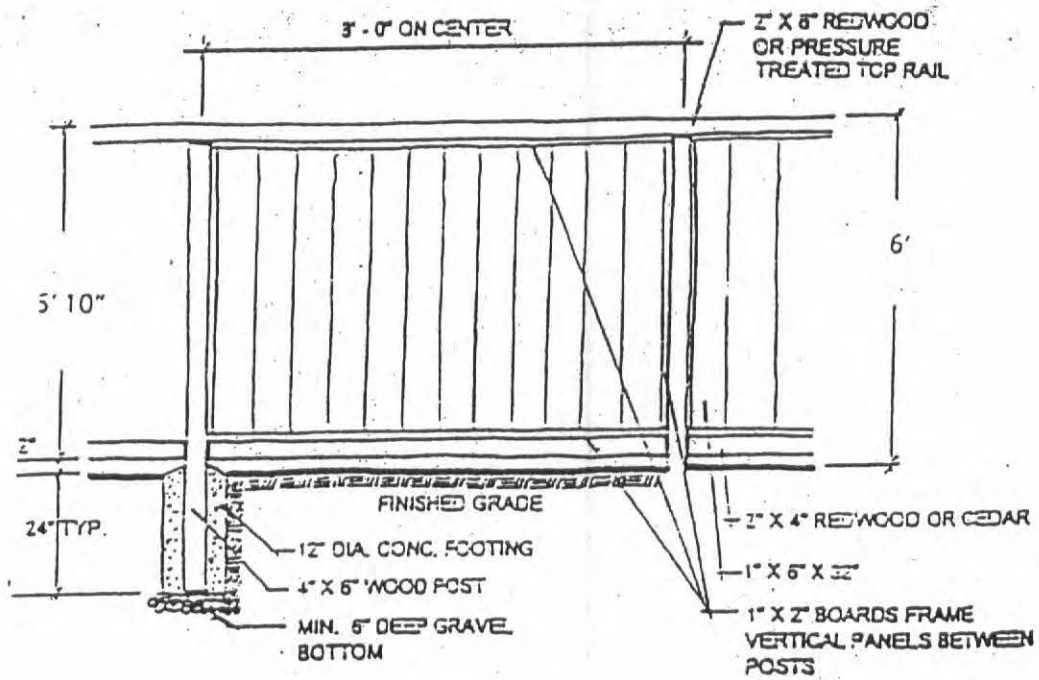
***Note 2:** Up to ten percent of the gross floor area may be subtracted from the parking requirements, when in the opinion of the administrator, said area will be used solely for storage.

- Setbacks:
 - Kietzke Lane 20 feet
 - Del Monte Lane 15 feet*
 - East property line 15 feet
 - West property line 20 feet
 - Property line abutting homes 50 feet
 - Interior lot lines 10 feet
 - Minimum landscape buffer adjacent to homes 10 feet

***Note:** These areas shall be fully landscaped, except for access locations

- Buildings Separation: 20 feet minimum
- Building Height:
 - West of Kietzke 1 story maximum
 - 0' to 150' east of Kietzke (east right-of-way) 1 story maximum
 - 150' east of Kietzke (east right-of-way) to east property line 2 story maximum
- Landscape Area: 25% Minimum
- Landscape Requirements:
 - The setback areas along Del Monte, Kietzke and the far east and far west property lines shall be fully landscaped.
 - A three to four foot high berm shall be constructed along the western most property line within the twenty foot landscaped setback area. The berm and landscaping shall be installed with construction of the first office building located on the west side of Kietzke Lane.
 - A minimum of 10 feet of landscaping shall be provided on all interior lot lines, except for access aisles.
 - A landscape and irrigation plan shall be submitted to City staff for review and approval prior to issuance of a building permit on said parcel.
 - Landscape and irrigation shall be installed for said parcel prior to issuance of a certificate of occupancy.
 - Minimum tree size
 - Deciduous 2" caliper
 - Evergreen 50% @ eight foot minimum
50% @ six foot minimum

- Shrubs shall be provided at a ratio of five (5) shrubs per every one tree, with 100% of shrubs in five gallon containers. A coverage of 75% of the total landscaped area shall be achieved within three years of the date of planting.
- Site
 - All other landscape requirements shall be in accordance with RMC 18.06.341
- Lighting:
 - Light standards shall be limited to fifteen feet in height
 - Lighting shall be shielded as needed to prevent glare on to adjoining properties (non-office).
 - Metal halide lighting is required for exterior and building lighting.
 - No light standards shall be placed within forty feet of residential properties
- Fencing:
 - A six foot solid wood screen fence is required along the west property line. The fence shall be installed prior to issuance of a certificate of occupancy for the appropriate parcel. (See Figure 3-1, Fencing Detail.)
- Signage:
 - 1 four foot by ten foot monument/parcel identification sign is allowed for each office parcel. Monument signs shall be backlit only. No internal illumination is allowed.
 - 1 wall sign per tenant is allowed for individual tenant identification. Tenant signs shall be limited to ten square feet per tenant as outlined by the sign letters. Individual channelized letters shall be used. Letter height shall not exceed eight inches. No lighting is allowed.
 - A schematic design of both the monument/parcel identification and tenant identification wall sign shall be submitted to City staff for review and approval prior to the issuance of the first building permit within the office parcel. The schematic design shall indicate materials, colors and style of letters to be used. Once approved, this schematic design shall be used as the base design requirements for all project signs.



FENCE LOCATION : SOUTH AND WEST BOUNDARIES OF OFFICE SITE

Figure 3-1 Fencing Detail

B. Overall Project Entry

Landscaping/Del Monte Lane Buffering

- Landscaping and sidewalk improvements on Del Monte Lane shall be installed by the developer prior to issuance of any certificate of occupancy for the first final map and/or office development.
- Prior to approval of the first final map, the developer will either provide a homeowners association or alternative maintenance vehicle acceptable to staff for maintenance of this area, to the satisfaction of city staff.
- A berm and dense landscaping will be provided between the project and Del Monte Lane. Landscaping will be designed to effect a natural look with some areas that are semi-formal (Figure 3-2, Entryway Planting Concept.) A five foot meandering sidewalk will be provided along Del Monte adjacent to the project.
- Combinations of ornamental and colorful/four season accent trees will be used along with informal masses of evergreen trees of various sizes to replicate natural forest groupings.
- A six foot opaque wood fence, consistent with Figure 3-1, Fencing Detail, will be constructed along the west property line.
- Plants from the high desert zone, listed in Appendix A, will be used for entryway planting.
- Landscaping will be provided within this area as follows:
 - Evergreen trees, minimum height: 7 to 8 feet.
 - Deciduous trees: 2" minimum caliper
 - Maximum tree spacing 15 feet
 - Sidewalk/pedestrian path: 5' meandering sidewalk
 - Shrubs shall be provided at a ratio of five (5) shrubs per every one (1) tree, with 100% of shrubs in five gallon containers.
 - A coverage of 75% of the total landscaped area shall be achieved within three years of the date of planting.

Signage

- A project monument sign, 15 feet wide by 4 feet in height, with the Castle Creek logo and lettering may be placed within the project boundary on Kietzke Lane. This will complement the architectural style of the offices and homes. This entry signage may be of stucco, tile, and/or engraved metal plate and will be back lit. (See Figure 3-3, Overall Project Entry Signage.)

Lighting

- Lighting will be used as needed to provide security, safety, and to subtly enhance project design elements. Lighting will be provided at roadway intersections and pedestrian crossings at a minimum. Lights may be staggered on either side of the streets. Cut off luminaries will be used to avoid glare from adjacent homes. (See Figure 3-4, Lighting Concepts.)
- Lighting on interior roadways may or may not be maintained by Sierra Pacific Power Company per standard City of Reno practice.

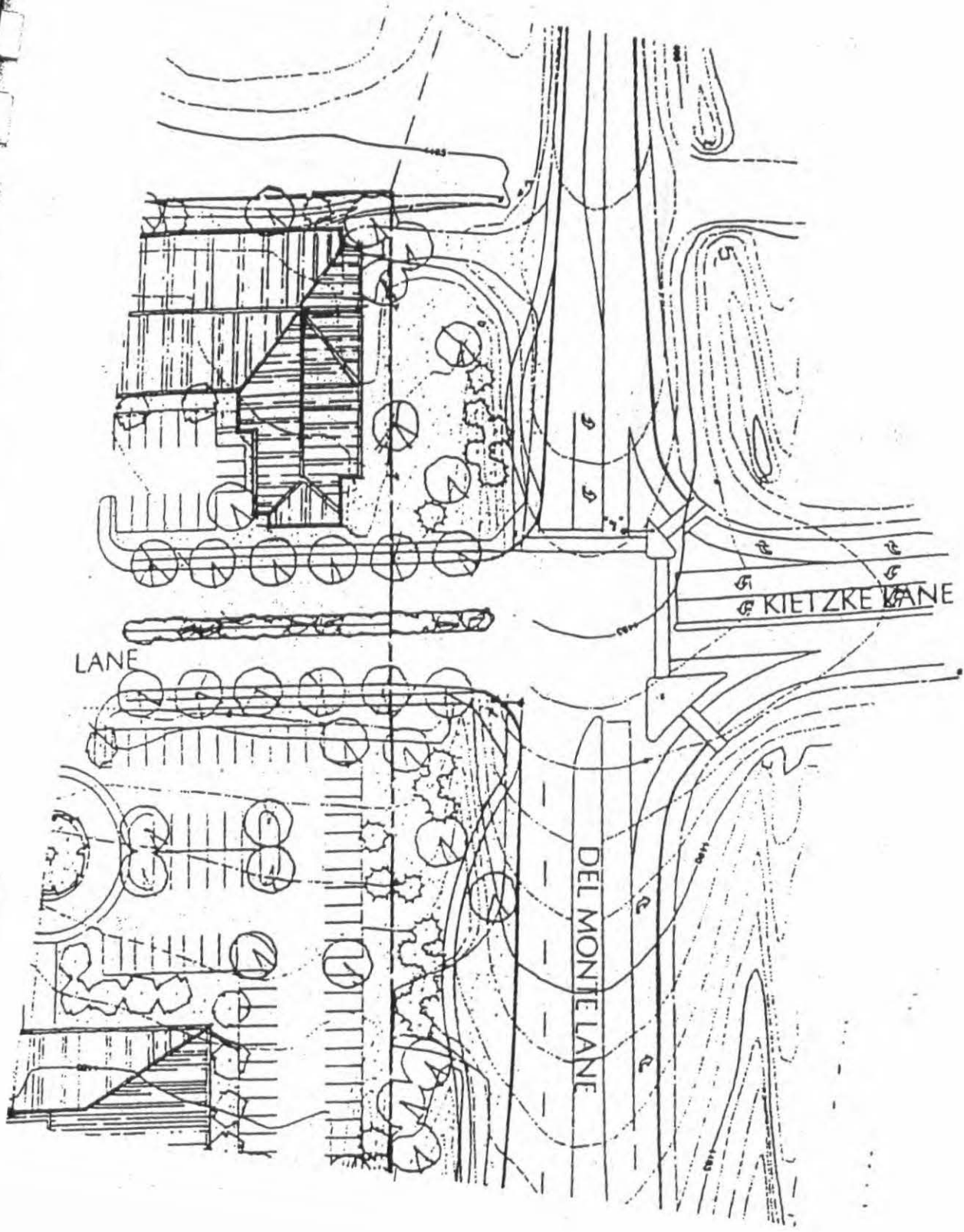


Figure 3-2 Entryway Planting Concept

CONCEPTUAL ENTRY SIGN

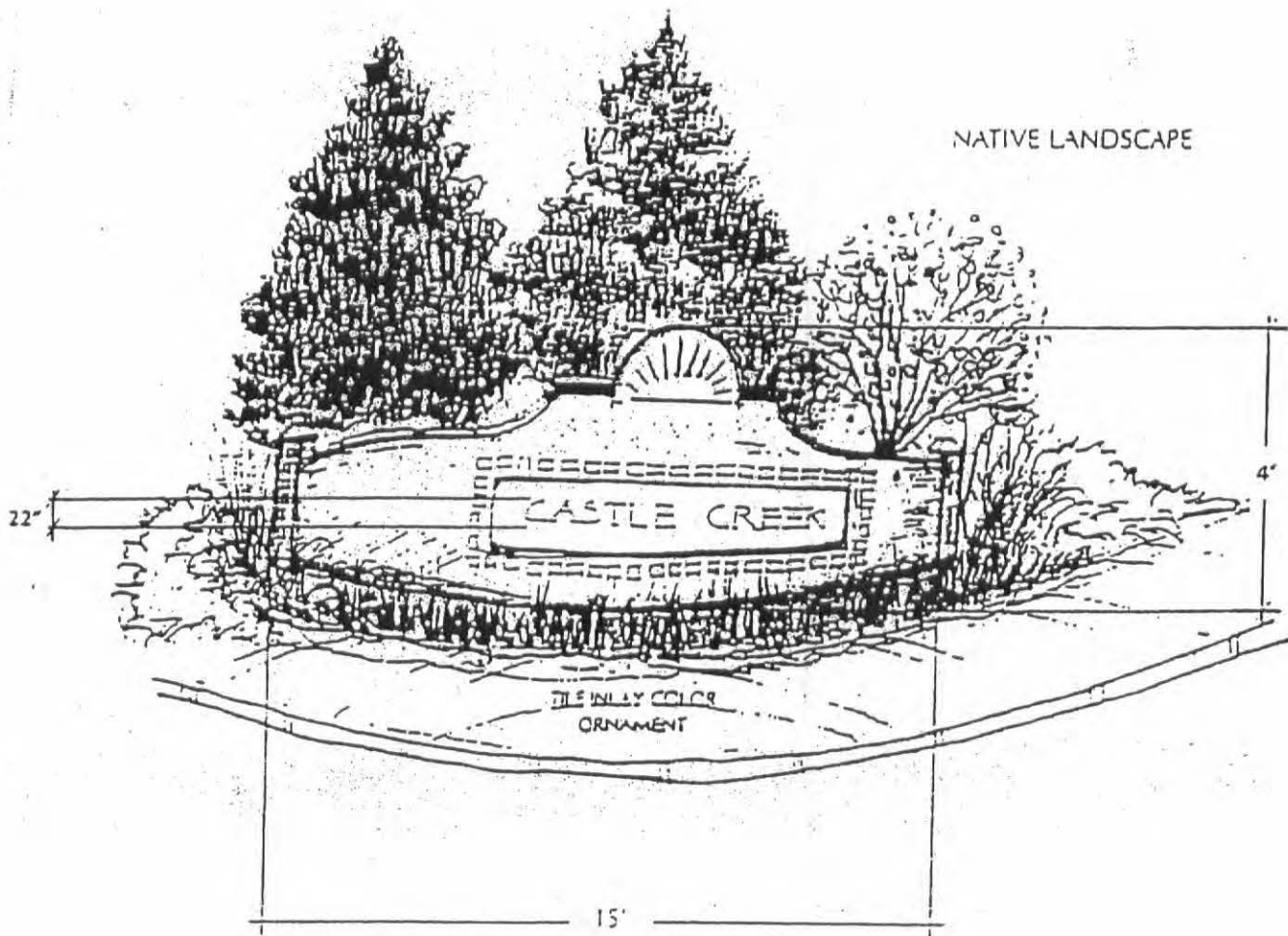
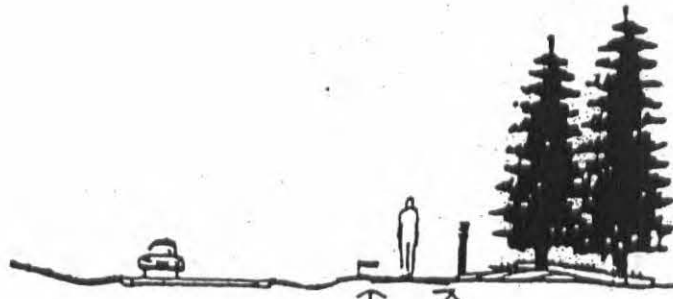
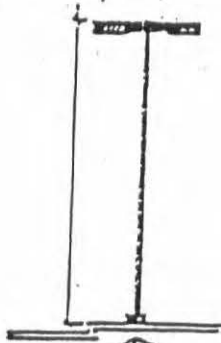


Figure 3-3 Overall Project Entry Signage



Incandescent or Florescent Up
Lights and Bollard Walkway Lights



Street & Intersection
Light (to be approved and
maintained by Sierra Pacific Power Company)

Mercury Vapor or Metal Halide

Figure 3-4 Lighting Concepts

Citifare Bus Stop

- If required by the Regional Transportation Commission, the developer will construct a bus stop to city and RTC standards on the south side of Del Monte Lane, adjacent to the project. The bus stop will be constructed with the first final map and/or prior to any issuance of a certificate of occupancy for offices.

Vehicular and Pedestrian Circulation and Access

- The only public access is from Kietzke Lane and Del Monte Lane.
- Castle Creek office workers may access the adjacent park from the Kietzke Lane extension. (See Figure 3-5, Circulation, Access and Fencing Plan.)

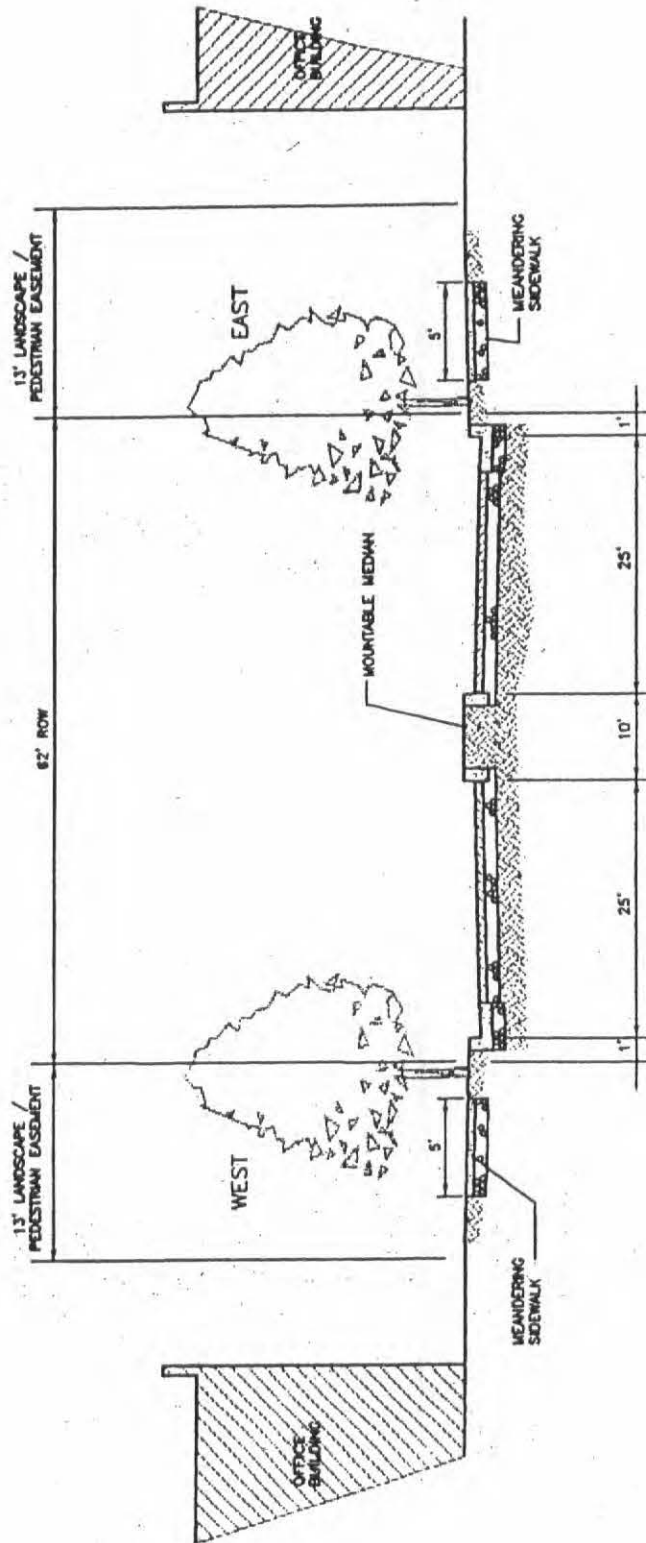
C. Street Standards

Streetscaping

Streetscaping will provide a sense of community and organization throughout Castle Creek. Landscaping, signs, lighting and fencing in the project will be of a unified, complementary design. Plants from the high desert will be used for plant species within streetscaped areas. (See Appendix A. A final landscape and irrigation plan, including specific treatments for ground cover between trees, shall be submitted to city staff for review and approval with the first building permit. From there, the approved ground cover treatment shall be continued throughout the remainder of the development. Landscape standards not specified below shall be in accordance with city code (R.M.C.18.06.341).

Kietzke Lane at Project Entry

Kietzke Lane enters the project and provides access to internal driveways for the offices. It is the sole means of access and will be constructed from Del Monte Lane with a right of way width of 62 feet. Each side will include a 5 foot sidewalk and street trees, planted a maximum of 30 feet on center with groundcover or shrubs between the trees. (See Figure 3-5, Typical Street Section.) A median, landscaped with low shrubs that extends to the southerly end of the existing offices is also located within Kietzke Lane. The median is 10 feet wide with 25 foot paved travel sections on both sides. This section satisfies the requirement for a sole means of access to the site. The median and parkway plantings shall be maintained by either a Homeowners Association or other maintenance vehicle acceptable to staff.



KIETZKE LANE SECTION

FROM DEL MONTE LANE TO SOUTH
EDGE OF EXISTING OFFICES

Figure 3-5 Typical Street Section

Landscaping

- The landscaped center median area immediately south of Del Monte and the sidewalk and parkway area on the south side of Kietzke shall either be maintained by a Homeowners Association or other maintenance vehicle acceptable to staff.
- Combinations of ornamental trees will be used along with informal masses of evergreen trees of various sizes to replicate natural forest groupings.
- Ornamental and colorful/four season accents of trees, shrubs, and ground cover will be used at key areas such as at intersections and turnarounds.
- Minimum tree sizes shall be: evergreen, six feet; and deciduous, two inch minimum caliper. Shrubs shall be provided at a ratio of five shrubs per every one tree, with 100 % of shrubs in five gallon containers. A coverage of 75% of the total landscaped area shall be achieved within three years of the date of planting through shrub planting, turf, revegetation and/or a combination.

Lighting

See Project Entry section on Lighting and Figure 3-4, Lighting Concepts.

D. Architecture

General Requirements - Office

Office architecture will be contemporary in nature and similar to the offices under construction within the Harrah's Office Park north of Del Monte Lane and east of Kietzke Lane. Building materials shall include brick and glass exteriors with tile roofing. Figure 3-6, Office Architecture (Two Story Building) and Figure 3-7, Office Architecture (One Story Building) illustrate the office architecture.

Design Guidelines

- The overall goal within the office area is to create a high quality office development.
- All buildings must incorporate a unified architectural design theme.
- All building materials and colors shall be reviewed and approved by the ACC and City staff prior to issuance of building permit. Colors must relate to the architectural style.
- An architectural checklist has been incorporated within the final SPD handbook to ensure that proper and consistent architecture is achieved with construction of each office building.

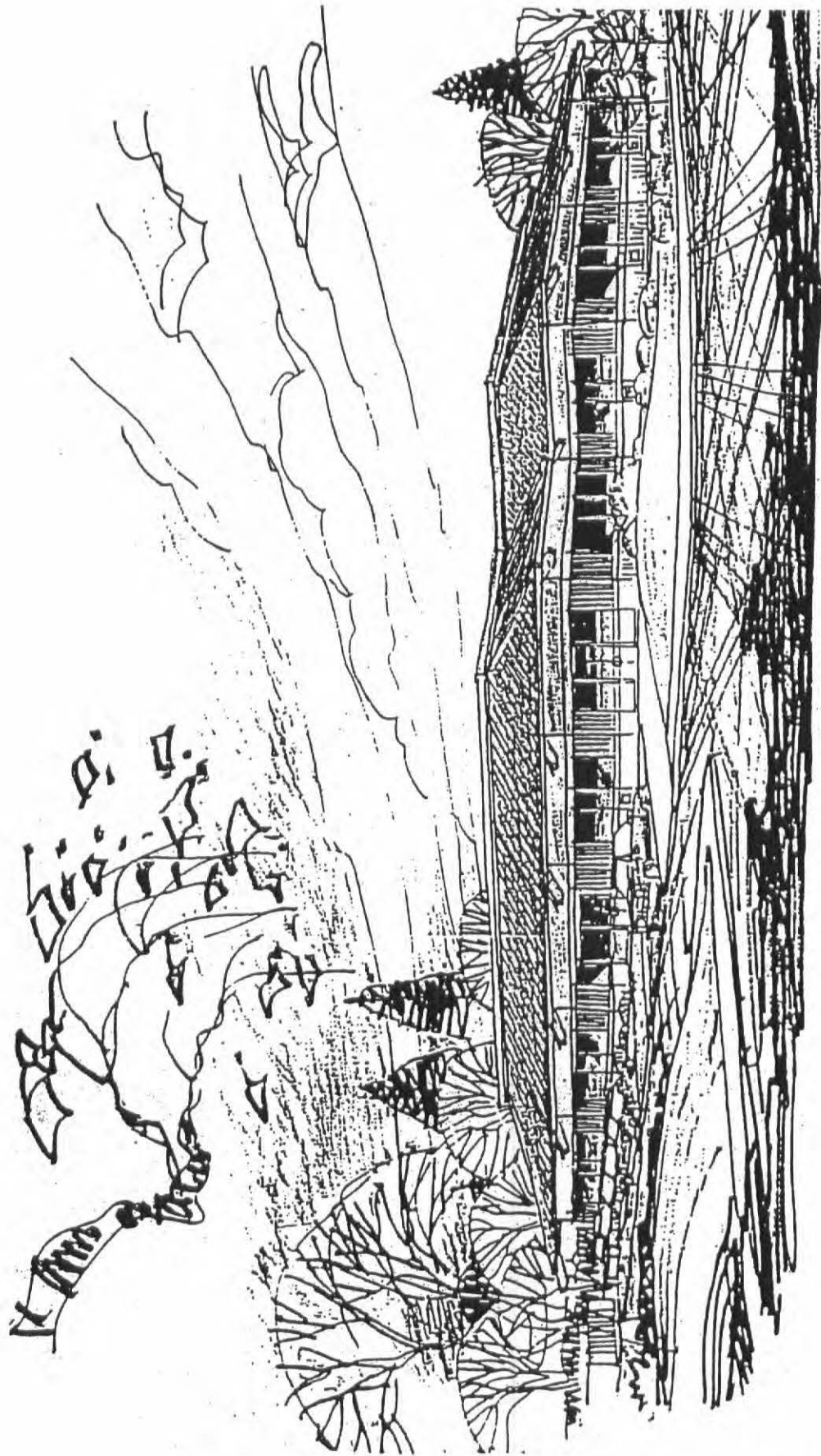


Figure 3-7 Office Architecture (One Story Building)

- Final approval of architectural elevation plans for each office must be consistent within the SPD architectural standards checklist to the satisfaction of City staff prior to the issuance of a building permit.
- Exterior Materials - appropriate materials include high quality tempered and/or spandrel glass. Walls facing residential property to the south shall use non-reflectorized glass to avoid the creation of glare. Framing material shall be black anodized aluminum window frames.
- Appropriate roofing materials include: Clay tile, concrete tile, or slate in warm, neutral, earthtone colors.
- A color palette, materials list and architectural checklist has been provided within this SPD document.
- Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.
- Siding materials/glass should be continued down close to finished grade on any elevation visible from public areas to eliminate large areas of exposed foundation.
- Varied building heights and roof massing are encouraged.
- Detailing of fascia and eaves can provide richness to the architectural composition.
- Site landscaping, walls, fences, sidewalks, and pathways can play an integral role in design. Colors and materials should match the finishes of the adjoining buildings.
- Roof form and building massing provide variety and texture to a project's overall appearance.

Roofs and Rooftop Screening/Utility Screening (Office and Residential)

- All mechanical and electrical equipment, air conditioning units, and meters shall be integrated into the building and screened from public view with landscaping, fencing or walls that are an extension of the building.
- No appurtenances (air conditioning/heating units, etc.) except solar units may be mounted upon or attached to any roof structure except for chimneys, vents, flues, and structural elements of the building.
- Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof design and mounted directly to the roof plane.
- Roof mounted hot water storage systems shall not be visible from neighboring property or public rights-of-way.

CHAPTER 4 DESIGN STANDARDS - MOUNTAIN VIEW CORPORATE CENTER (SOUTHERN 32.99 ACRES)

General Standards

- **Maximum Square Footage Allowed:** 483,000 square feet

- **Allowed Uses:**

- All uses permitted outright, with a special use permit, or with site plan review in the following districts: Professional Office, Reno Zoning Ordinance dated 9/29/00, General Office, dated 9/29/00, and Neighborhood Commercial, dated 9/29/00, except for those prohibited uses listed below. (Refer to Appendix E.)
- Commercial uses are limited to a maximum of 20,000 total square feet and such uses are limited to the buildings immediately south of Evans Creek and to the buildings located north of Evans Creek. The hours of operation for commercial uses are limited to 7:00 a.m. to 7:00 p.m., seven days a week. The hours of operation for a restaurant are limited to 6:00 a.m. to 11:00 p.m., seven days a week.
- One extended stay, non-gaming business hotel with a maximum of 100 units is permitted north of Evans Creek and east of Kietzke Lane, in the approximate location shown on Figure 4-1 on page 4-5. A restaurant and any accessory retail uses that may be located in the hotel will be deducted from the 20,000 square feet of allowed commercial uses.
- A commercial childcare center shall be required to submit an acoustical study with an application for either a building permit or a business license. No building permit or business license shall be issued until the administrator has sufficient documentation to show that the following sound levels are not exceeded for properties to the south and west.

Interior noise level	40 dba maximum
Exterior noise level	65 dba maximum

- **Prohibited Uses:**

- Animal Clinic, Shelter, Hospital, or Boarding Kennel
- Antique/Collectible Store
- Astrologer, Hypnotist, or Psychic Art and Science
- Bed and Breakfast Inn
- Car Wash
- Childcare, In-Home (1-6 children)
- Childcare, In-Home (7-12 children)
- Church/House of Worship
- Cleaners, Commercial
- Collection Station
- Custom and Craft Work
- Electric Generating Plant
- Electric Utility Substation
- Fitness Center
- Granny Flat/Caretakers Quarters/Domestic or Security Unit
- Group Home

- Hospice
- Household Goods, Light Service, Repair and Assembly
- Laundry, Self Service
- Multi-Family
- Night Club
- Open Lot Parking
- Overhead Utility Transmission Lines (over 60 kv)
- Pet Store
- Plant Nursery/Garden Supply
- Private Club, Lodge, or Fraternal Organization
- Public Park or Recreation Area
- Public Transit or School Bus Shelter
- Recording Studio
- Service Station
- Showroom
- Single Family, Attached/Condominium Townhouse
- Single Family, Detached
- Temporary Christmas Tree Sales Lot and Similar Use
- Tennis Courts
- Utilities, Major
- Video Arcades

- **Parking:**

- Upon application for either a building permit or business license, the applicant shall provide to the city a cumulative calculation of parking required verses parking provided to ensure that an adequate number of parking stalls are available. A permit or license will not be issued until parking requirements are satisfied.
- Parking requirements shall be based on city code; however, where recent data is available from ITE or another nationally-accepted authority that parking data can be submitted to the Administrator for him/her to base a decision.
- Up to 10 percent of the gross floor area may be subtracted from the parking requirements when said area will be used solely for common areas (e.g., halls, bathrooms, storage areas).
- As stated in Section 18.06.602(h)(6), dedicated employee parking in offices or office complexes with a minimum of 100 stalls may utilize the dimensions given for a 9-foot wide stall, except that the stall width may be reduced to 8 ½ feet.
- A cross-parking agreement shall be incorporated within the CC&Rs across the entire site.

- **Employee Trip Reduction Program:**

- Prior to issuance of the first building permit, the applicant shall submit for city and RTC staff approval on employee trip reduction program. Said plan shall be approved prior to issuance of any certificate of occupancy and shall be implemented and maintained to the satisfaction of city staff.

- **Setbacks and Building Heights:**

- Minimum front yard 10 feet
- Minimum side yard 10 feet
- Minimum rear yard 10 feet
- The southernmost building, which are one story in height, will be setback from the south property line approximately 90 feet. As shown in Figure 4-2, the 12 feet adjacent to the property line shall be landscaped and includes a 2-foot berm. A swale for irrigation water occupies another 8 feet.
- Buildings are one to four stories in height, as shown on the site plan in Figure 1-2 on page 1-4.

- **Buildings Separation:** 20 feet minimum

Landscape Standards

- **Landscape Area:** 20% Minimum

- **General Landscape Requirements:**

- A landscape and irrigation plan shall be submitted to City staff for review and approval prior to issuance of a building permit on each parcel.
- Landscape and irrigation shall be installed prior to issuance of a certificate of occupancy for each building.
- Minimum tree size (except along south and west property lines):
 - Large deciduous trees (70% of total) 2 ½" caliper, 10 feet tall
 - Small deciduous trees (30% of total) 1 ½" caliper, 6 feet tall
 - Evergreen trees 50%, 8-foot minimum
50%, 6-foot minimum
- Tree mix (except along south and west property lines):
 - Deciduous: 75% of the total number of trees.
 - Evergreen: 25% of the total number of trees.
- Shrubs shall be provided at a ratio of six shrubs per every one tree, with all large shrubs in 5-gallon containers and groundcovers and vines in 1-gallon containers. A minimum coverage of 75% of the landscaped planter areas shall be achieved within 3 years of the date of planting (excluding lawn areas).
- Combinations of ornamental trees will be used, along with informal masses of evergreen trees of various sizes.
- Ornamental and colorful-four season accents of trees, shrubs, and groundcover will be used in key areas.
- All other landscape requirements shall be in accordance with RMC 18.06.700.
- Maintenance of all common area landscaping will be the responsibility of a Property Owners Association.
- Landscape treatment along Kietzke Lane:
 - A consistent streetscape will provide a sense of community and organization throughout the project.
 - Landscaping, signs, lighting, and fencing will be a unified design. Organizing these design elements will create an office park atmosphere.

- A compatible palette of plant materials will be used. Plants appropriate to the high desert will be used for plant species within streetscaped areas. (Refer to Appendix B.)
- A final landscape and irrigation plan for all of Kietzke Lane shall be submitted to city staff prior to issuance of a building permit for the first building.
- Landscape treatment in parking lots and around buildings:
 - Parking lots are visually reduced in size with landscaped planters. Taller hedges and trees will help break up the overall size of the parking areas.
 - Accent trees will delineate driveway locations.
 - Where possible, parking lot planters will be larger on end islands to accommodate tree clusters.
 - Landscaping will accent the office building elevations, screen service areas, and provide sun/wind control around outdoor use areas.
 - A combination of deciduous and small evergreen trees will be utilized adjacent to the buildings. Accent trees will be planted around entries and walkways.
- **Special Landscape Requirements:**
 - Landscape treatment along south property line (Refer to Figures 4-1 and 4-2):
 - Evergreen screen trees:
 - 20-foot tall size, planted at an average spacing of 50 feet on center.
 - 16-foot tall size, planted at an average spacing of 65 feet on center.
 - 10-foot tall size, planted at an average spacing of 225 feet on center.
 - Deciduous trees planted at an average spacing of 90 feet on center.
 - The average spacing between trees will be approximately 16 feet.
 - The above standards equate to the following number of trees:
 - Evergreen 20-foot tall size: 35 trees
 - Evergreen 16-foot tall size: 11 trees
 - Evergreen 10-foot tall size: 5 trees
 - Deciduous: 8 trees
 - Trees to be planted on berming as shown in Figure 4-2.
 - Shrubs to be added to setback area for additional screening. Both large and small shrubs will be used adjacent to fences and walls.
 - The ditch will be relocated to be within the landscaped area and will be maintained by a Property Owners Association.
 - Landscape treatment adjacent to Anderson Park (Refer to Figures 4-1 and 4-3):
 - Evergreen screen trees:
 - 20-foot tall size, planted at an average spacing of 50 feet on center.
 - 16-foot tall size, planted at an average spacing of 65 feet on center.
 - 10-foot tall size, planted at an average spacing of 225 feet on center.
 - The average spacing between trees will be approximately 17 feet.
 - The above standards equate to the following number of trees:
 - Evergreen 20-foot tall size: 43 trees
 - Evergreen 16-foot tall size: 45 trees
 - Evergreen 10-foot tall size: 11 trees
 - Trees to be planted on berming as shown in Figure 4-3. On the Lowell Family Limited Partnership property, berming is optional when existing trees are being retained since the trees could be damaged by berming. When retention of existing trees is not a consideration, berming is required.

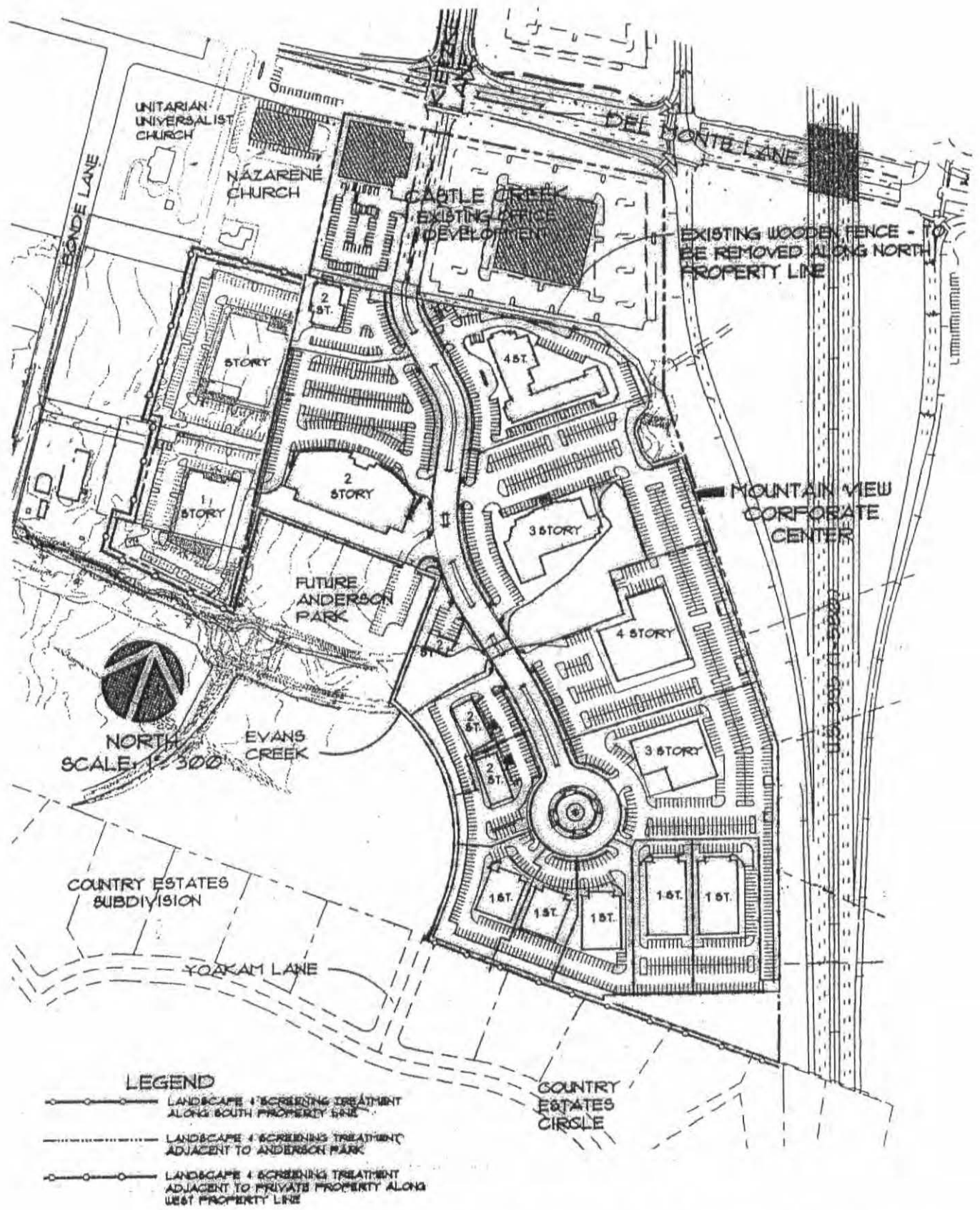


Figure 4-1 Locational Map for Landscape and Screening Standards

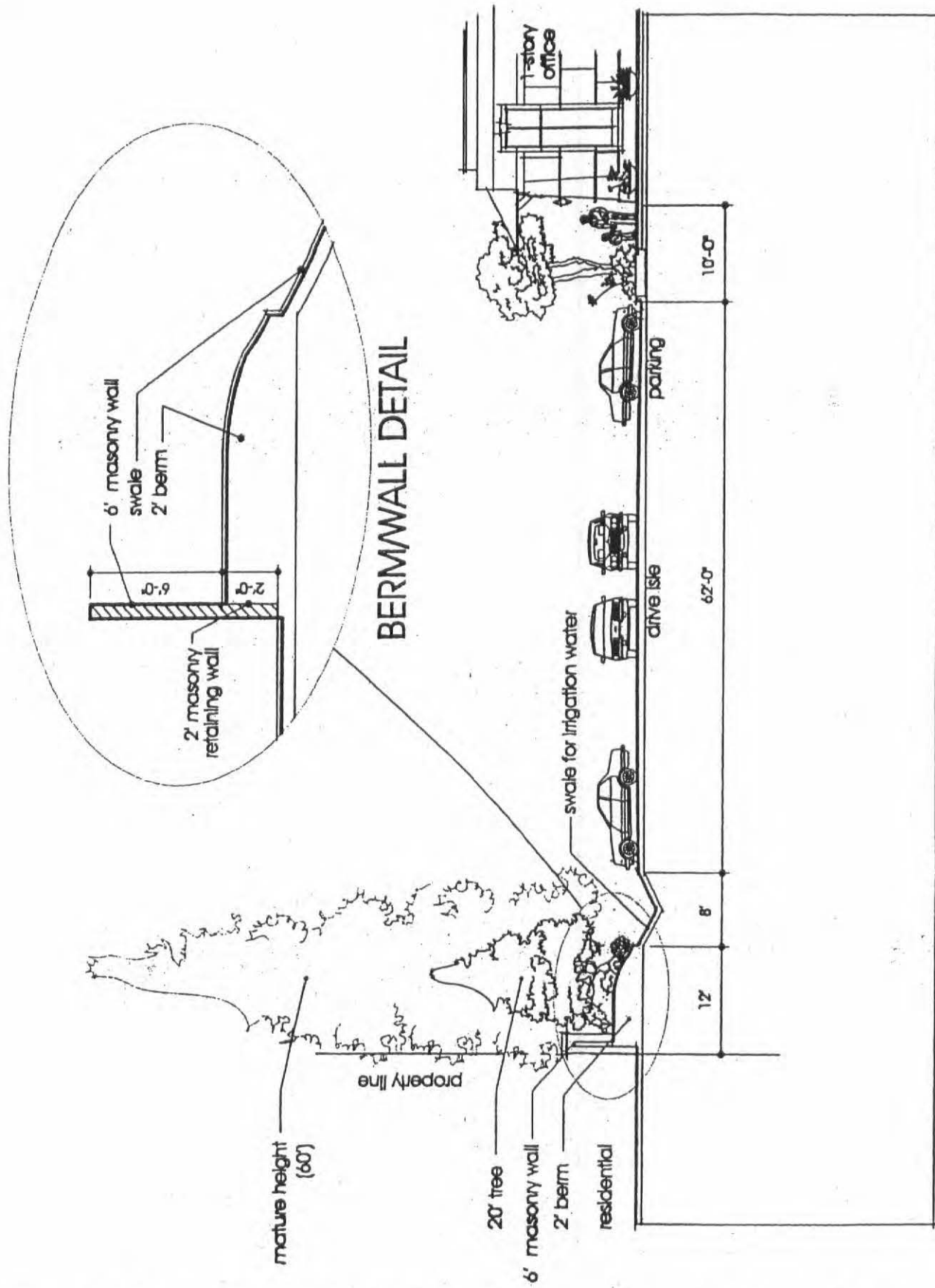


Figure 4-2 Section Through South End of Property Adjacent to Country Estates

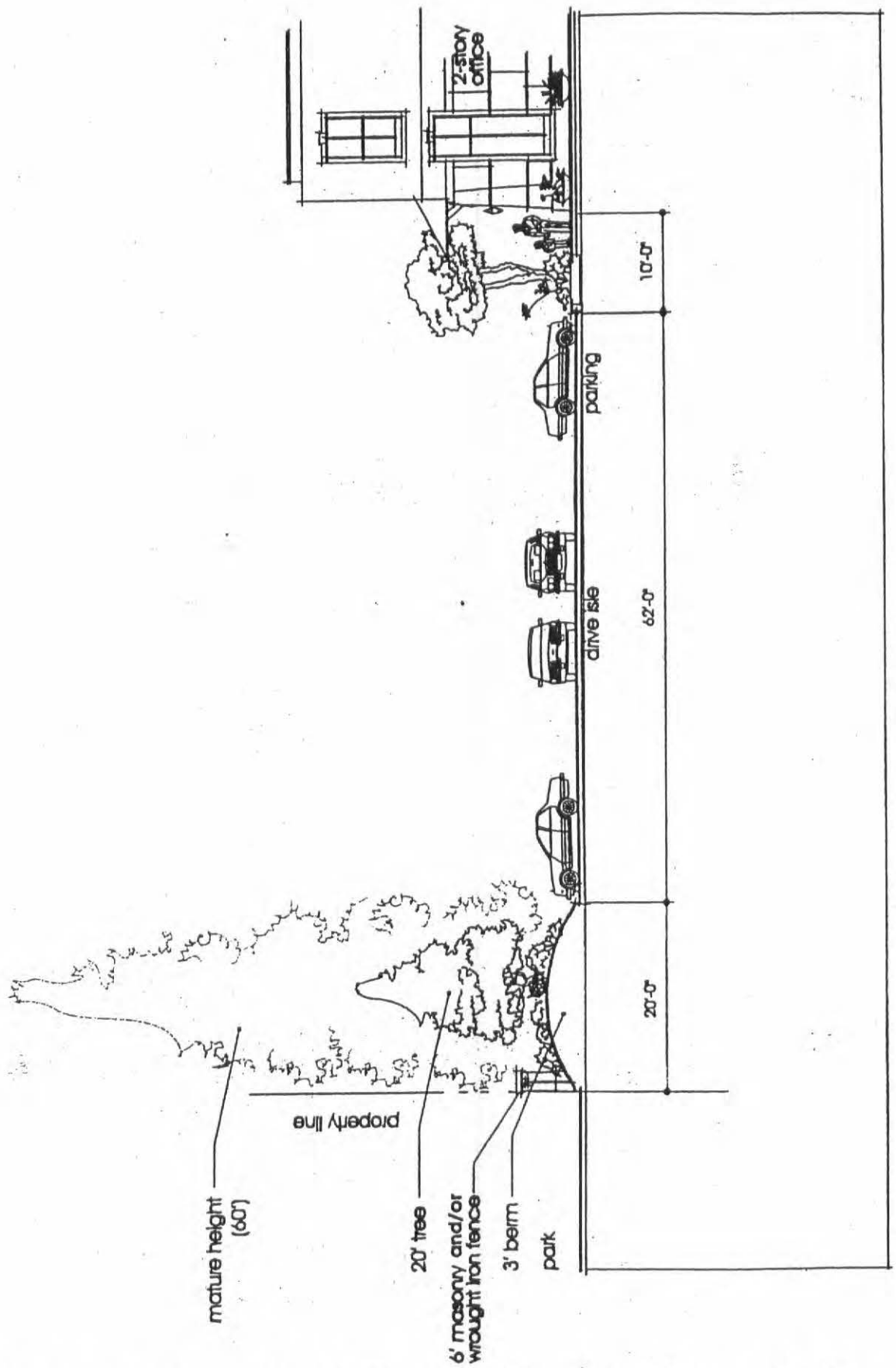


Figure 4-3 Section Through West End of Property Adjacent to Park and Private Property

- Shrubs to be added to setback area for additional screening. Both large and small shrubs will be used adjacent to fences and walls.
- Landscape treatment adjacent to private property along west property line. (Refer to Figure 4-1):
 - Evergreen screen trees:
 - 20-foot tall size, planted at an average spacing of 50 feet on center.
 - 16-foot tall size, planted at an average spacing of 65 feet on center.
 - 10-foot tall size, planted at an average spacing of 225 feet on center.
 - Deciduous trees planted at an average spacing of 90 feet on center.
 - The average spacing between trees will be approximately 22 feet.
 - The above standards equate to the following number of trees:
 - Evergreen 20-foot tall size: 17 trees
 - Evergreen 16-foot tall size: 12 trees
 - Evergreen 10-foot tall size: 3 trees
 - Deciduous: 9 trees
 - Trees to be planted on a 3-foot berm as shown in Figure 4-3. Along the south property line of the Lowell Family Limited Partnership property, berming is optional when existing trees are being retained since the trees could be damaged by berming. When retention of existing trees is not a consideration, berming is required.
 - As shown in Figure 4-3, the width of the landscape area is 20 feet. However, the width of the landscape area along the south property line of the Lowell Family Limited Partnership property may be 10 feet because of the presence of Evans Creek along the south property line.
 - Shrubs to be added to setback area for additional screening. Both large and small shrubs will be used adjacent to fences and walls.

Evans Creek

The open space along Evans Creek connects the office park with the existing Anderson Park to the west. The drainageway will convey storm water through the property, arriving from Anderson Park and heading towards two box culverts that cross under the U.S. 395 freeway.

Landscaping within Evans Creek area shall include riparian species consistent with the recommendations made in the major drainageway studies. Riparian tree species proposed will require approval from the City Urban Forester. A minimum coverage of 75% of the total landscaped area adjacent to the drainage area shall be achieved within 3 years of the date of planting through revegetation efforts and plantings. A section through Evans Creek and the proposed crossing are shown in Figures 4-4 and 4-5, respectively. Maintenance of the landscaping within Evans Creek and all common areas shall be the responsibility of the Property Owners Association. This provision shall be included in the CC&Rs.

Buffering

Screening and buffering will be used where necessary to provide separation between dissimilar land uses, screen unwanted views, or provide a sense of privacy. Materials used will be consistent with those found throughout the project. The specific improvements listed below shall be installed by the developer prior to issuance of the first certificate of occupancy.

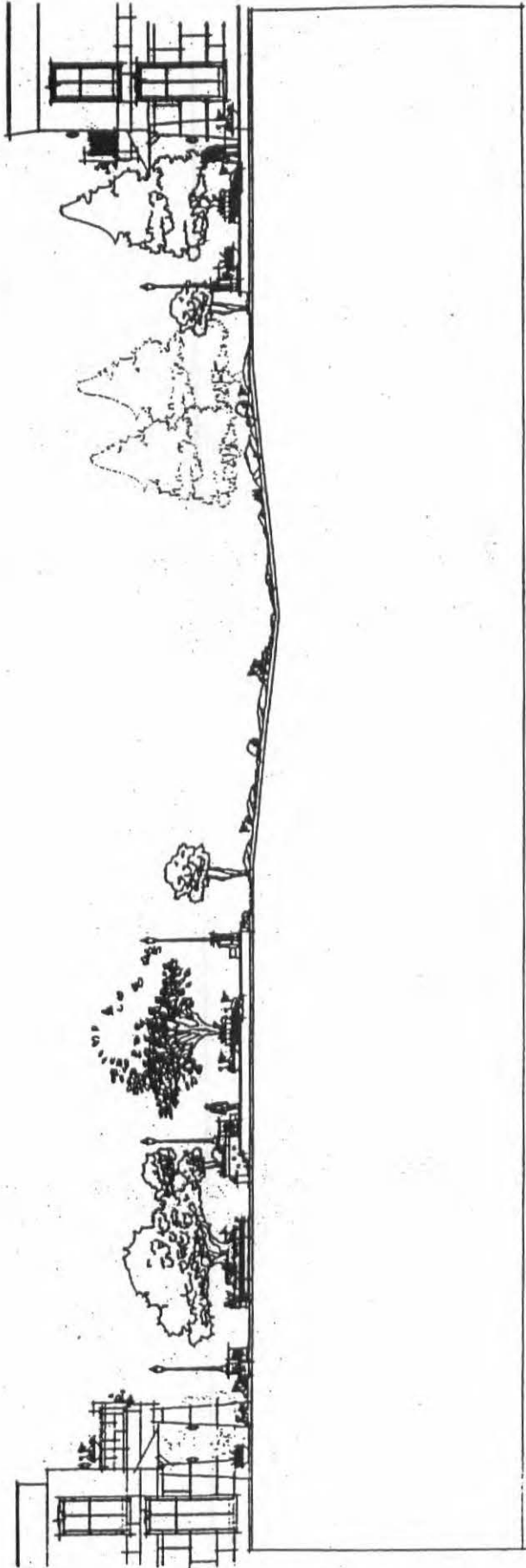


Figure 4-4 Section Through Evans Creek

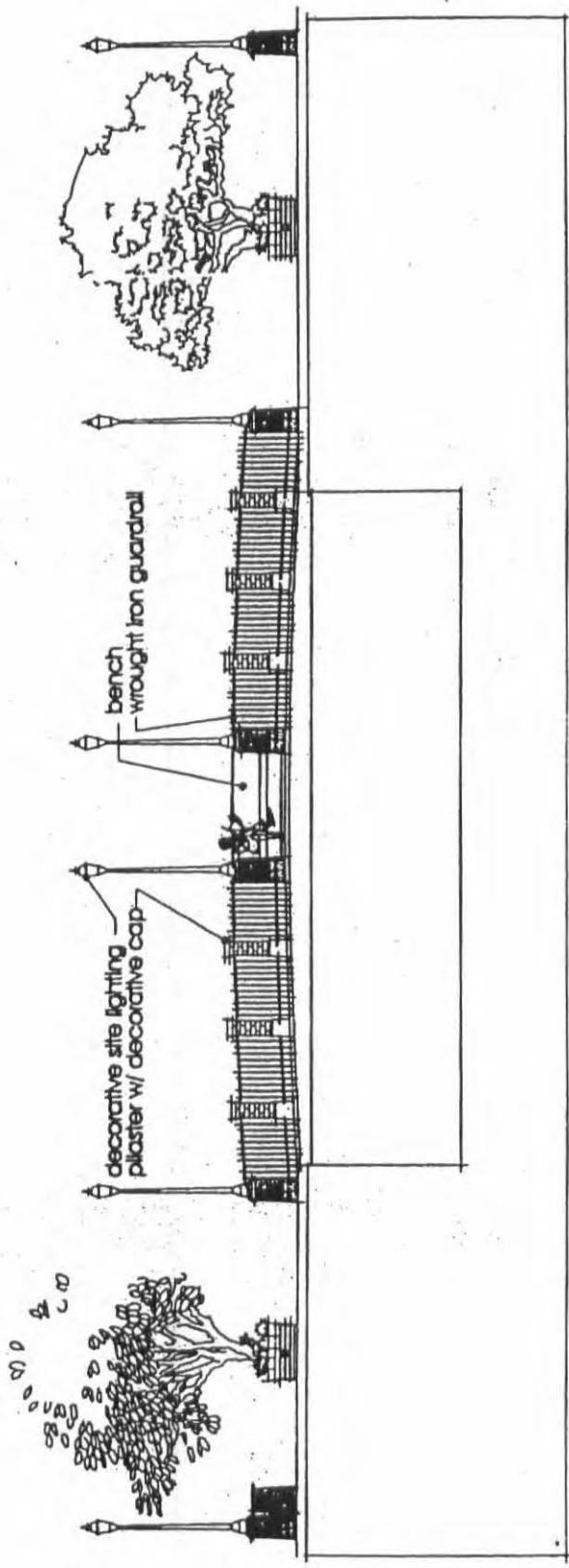


Figure 4-5 Section Through Crossing of Evans Creek

- A 6-foot high masonry wall may be constructed to separate the offices from the U.S. 395 freeway. A mix of 6- to 8-foot tall evergreens and 1 ½" - 2 ½" caliper deciduous trees will be planted adjacent to the freeway.
- **Screening Adjacent to Country Estates:**
 - A 6-foot high masonry wall will be provided along the south property line. As shown in Figure 4-2 on page 4-6, the 6-foot wall will be constructed on a 2-foot retaining wall. The combination of the retaining wall and the masonry wall will result in a wall height of 8 feet when viewed from the south side.
 - Landscaping will be consistent with the standards set forth on page 4-4.
- **Screening Adjacent to Anderson Park:**
 - A 6-foot high fence that is a combination of masonry and iron will be installed along the common property line.
 - Landscaping will be consistent with the standards set forth on page 4-4.
- **Screening Adjacent to Private Property Along West Property Line:**
 - A 6-foot high ornamental fence will be provided along the common property line.
 - Landscaping will be consistent with the standards set forth on page 4-8.

Fencing

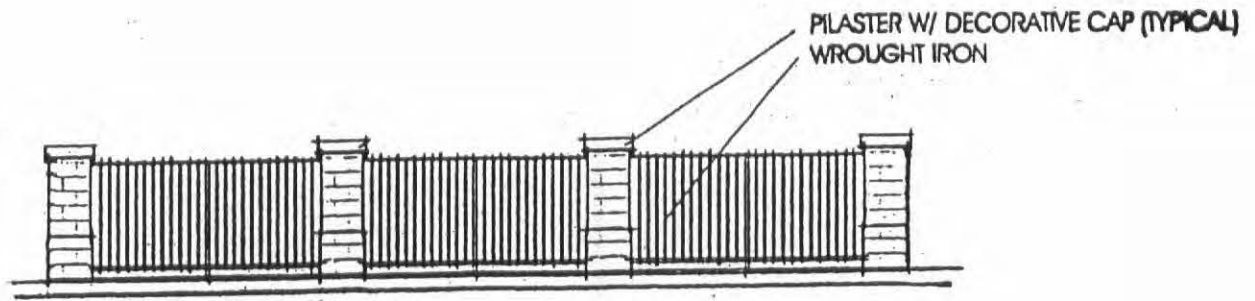
- A 6-foot high solid decorative masonry wall will be constructed along the portion of the project abutting the homes to the south and along the west property line north of the proposed park. This wall may also be constructed along the east property line adjacent to the freeway. (Refer to Figure 4-6.)
- A 6-foot high decorative masonry and wrought iron fence is to be provided along the west property line adjacent to the proposed park. (Refer to Figure 4-6.)
- A 6-foot high ornamental wrought iron fence will be constructed adjacent to private property along the west property line. (Refer to Figure 4-6.)

Lighting

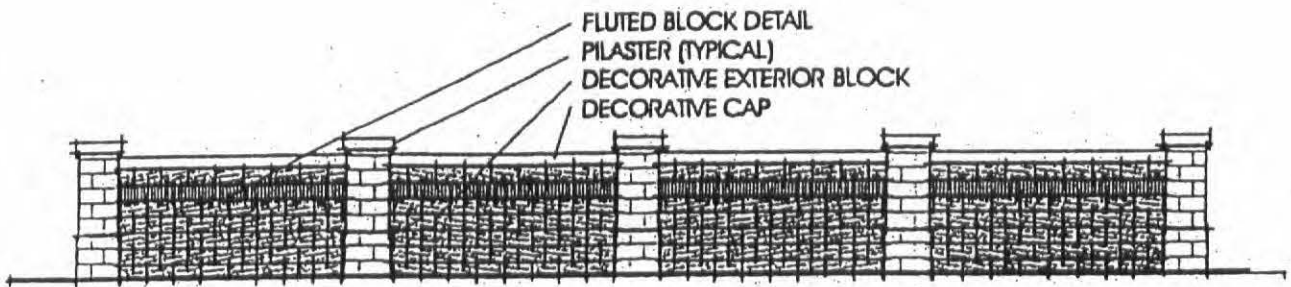
- Light standards shall be limited to 15 feet in height
- Lighting shall use cut-off fixtures, refractors, or housing shields to eliminate lighting spillover.
- Landscape lighting shall be soft, unobtrusive, and directed and/or shielded to prevent glare.
- Color-corrected lighting is required for exterior and building lighting.
- No light standards shall be placed within 82 feet of Country Estates.
- Lighting cannot exceed 0.5-foot candles as measured at the south and west property lines. Lighting on the remainder of the site shall not exceed 5.0-foot candles.
- A final photometric plan shall be submitted and approved by staff prior to issuance of each building permit.

Signage

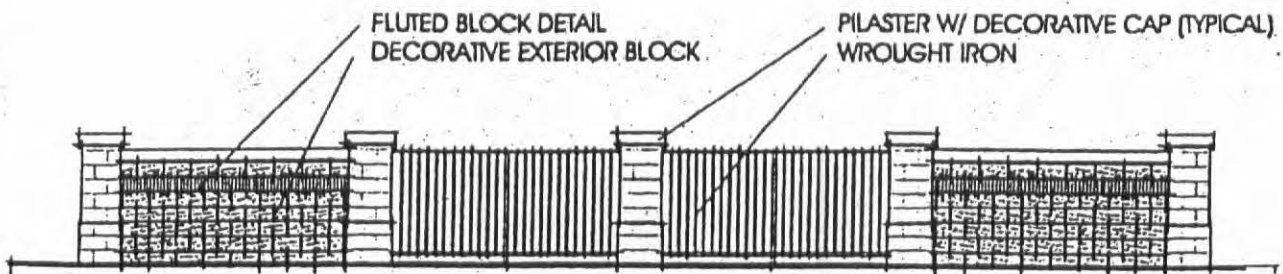
Wall signs will be limited to two wall signs per major tenant with two major tenants maximum per building and a total of two wall sign per building for all minor tenants.



ELEVATION ALONG WEST SIDE OF PROPERTY



ELEVATION ALONG SOUTH SIDE OF PROPERTY



ELEVATION ADJACENT TO ANDERSON PARK

Figure 4-6 Fencing

- Individual channelized letters shall be used. Letter height shall be limited to 3 feet facing non-residential property and 2 feet otherwise.
- Each building is allowed one 6-foot tall, 60 square foot illuminated building identification monument sign and one 5-foot tall, 30 square foot illuminated tenant directory sign. The tenant directories shall be located at major building entrances only with a maximum of four per building.
- Lighting of all signs (e.g., walls, monument, tenant directories) facing residential property shall be limited to business hours only (7:00 a.m. to 7:00 p.m.), and no lighted signage shall be allowed on the rear of buildings facing the south or west property lines adjacent to residential or park property. (Refer to Figure 4-7.)
- A schematic design of the monument/parcel identification signs, tenant identification wall signs, and directional signs shall be submitted to the city staff for review and approval prior to the issuance of the first building permit within the office park. The schematic design shall indicate materials, colors, and style of letters to be used. Once approved, this schematic design shall be used as the base design requirements for all project signs.

Street Standards

- The street section for Kietzke Lane is depicted in Figure 4-8. The 62-foot right-of-way will provide for two, 12-foot wide travel lanes in each direction and a 10-foot median. There will be a 4-foot wide sidewalk on both sides that is separated from the back of curb by a landscaped area. No on-street parking will be permitted. This street section complies with the policies of the Reno Fire Department pertaining to primary and secondary means of access (i.e., UFC-P902.2.1.1).
- The street section for the traffic circle has an inside radius of approximately 60 feet and the outside radius is approximately 100 feet. (Refer to Figure 4-9.)
- If required by the Regional Transportation Commission, the developer will construct a bus stop to city and RTC standards. The bus stop will be constructed prior to issuance of a certificate of occupancy for the first office building.
- Special paving will be installed at the intersection to the traffic circle, at the center of the traffic circle, and at the private driveways. Paving type will be compatible with the building material color and textures and will be colored concrete or textured pavement, stamped concrete, concrete pavers, or a combination. Paving patterns and details will be submitted as a part of the final improvement drawings.

Architecture

All architecture within Mountain View Corporate Center will be contemporary in nature with flat roofs and parapets. Building materials will be panelized and glazed exteriors including but not limited to granite, stone, brick, or exterior insulation and finish systems. Stucco will be allowed on single story buildings with a finish to match the existing buildings. Refer to Figure 4-10 for the proposed one, two, three and four story office architecture.

• Design Standards

- The overall goal within the office area is to create a high quality Class 'A' office park.

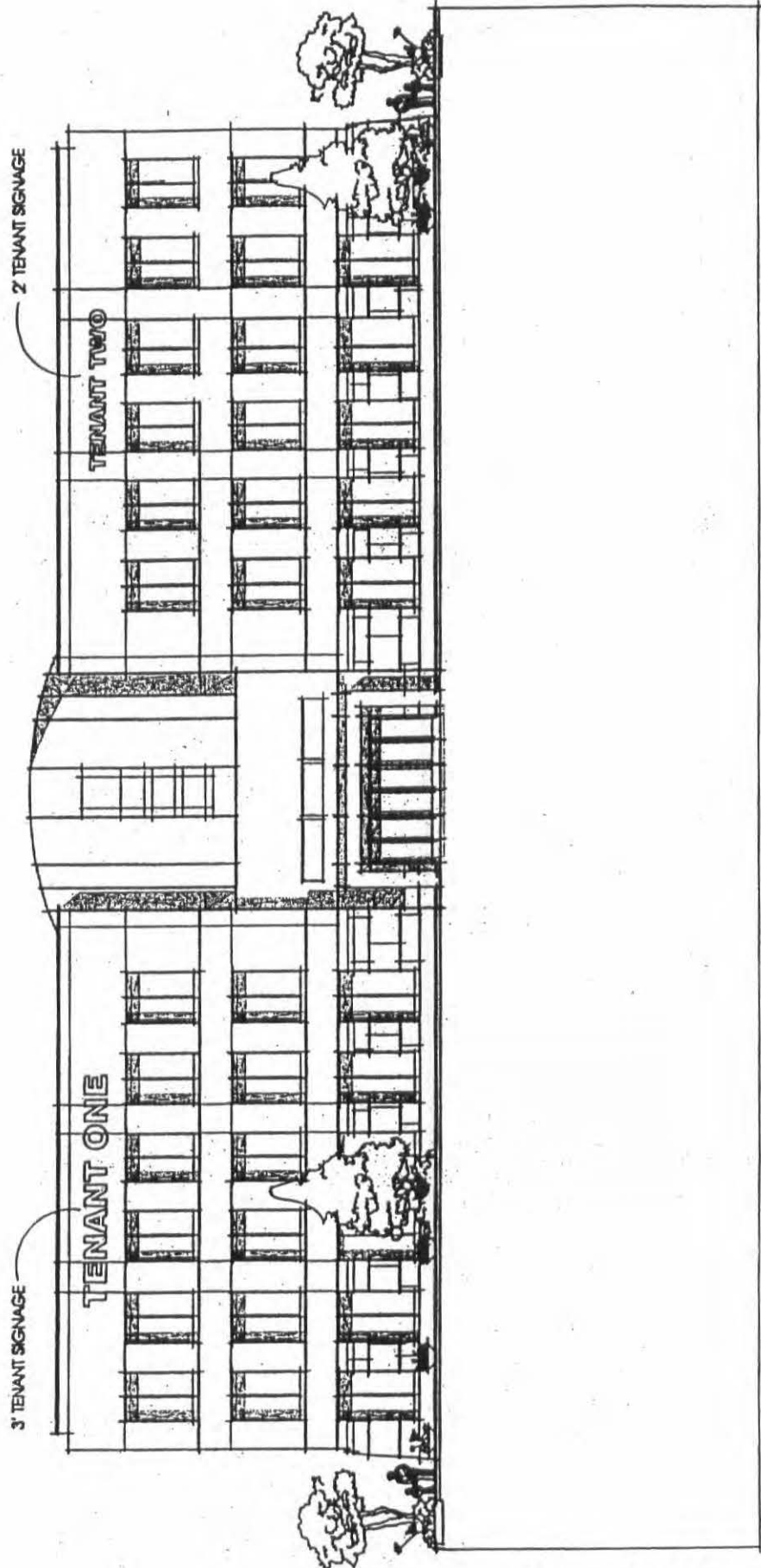


Figure 4-7 Wall Signs

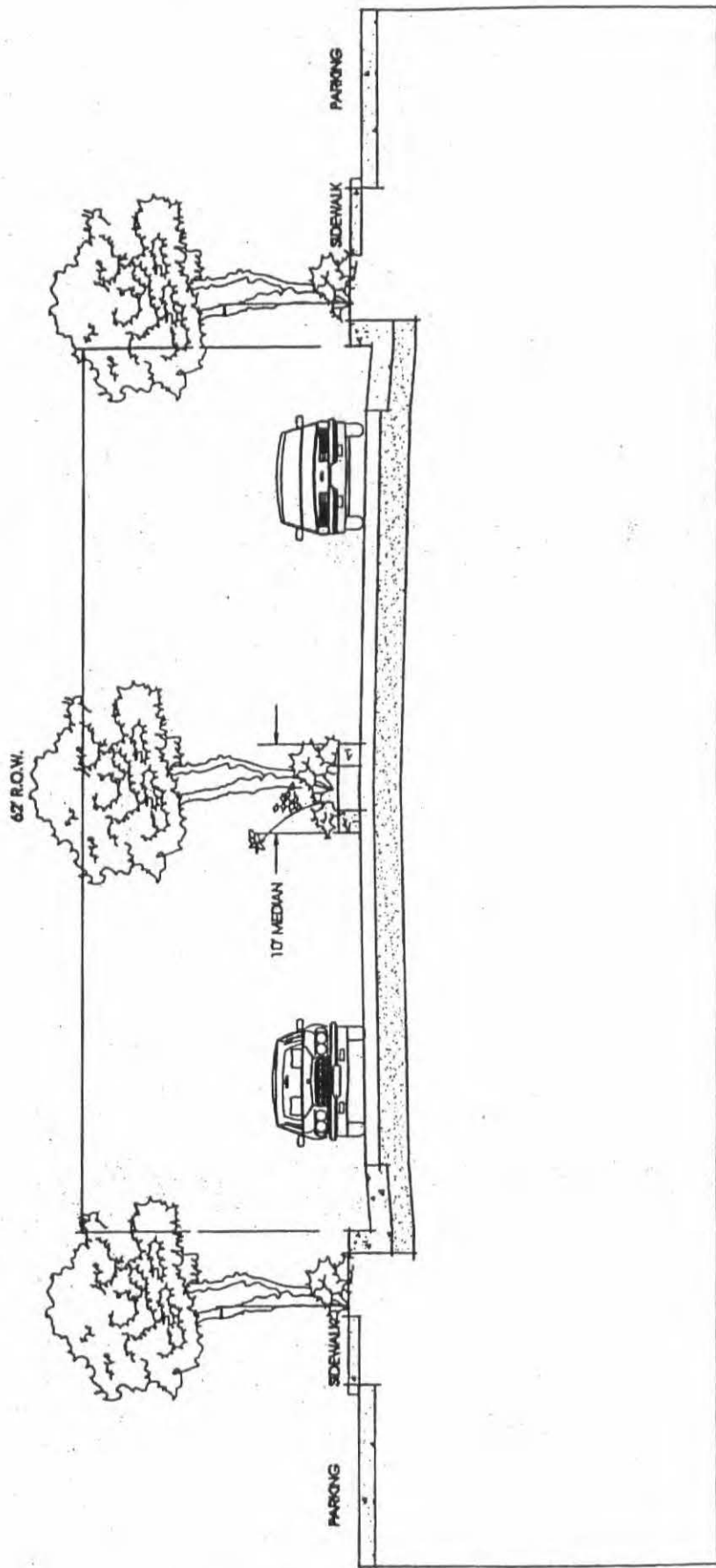
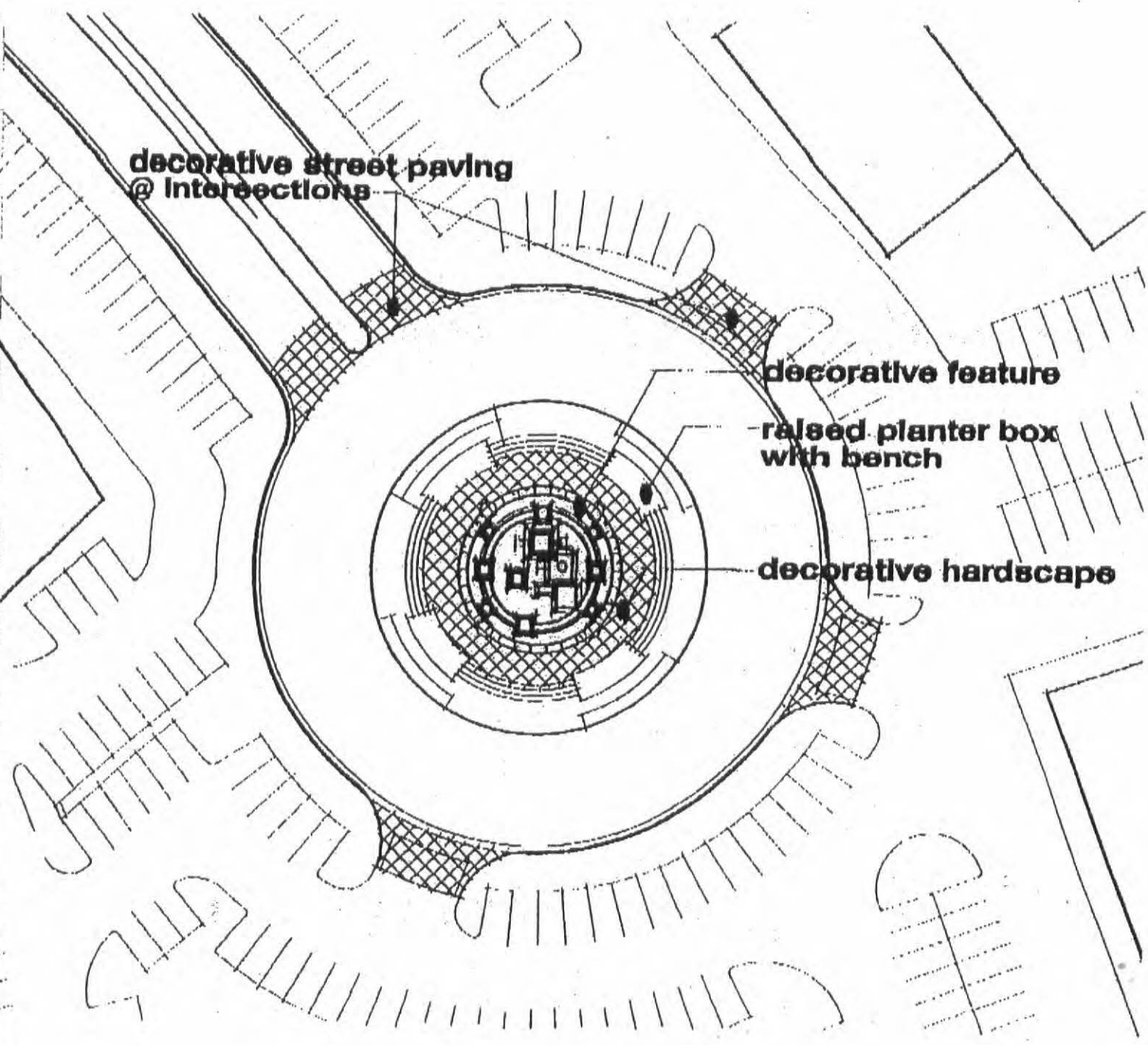


Figure 4-8 Street Section for Kietzke Lane



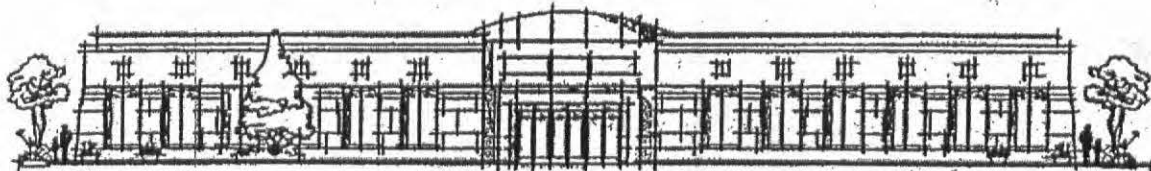
**decorative street paving
@ Intersections**

decorative feature

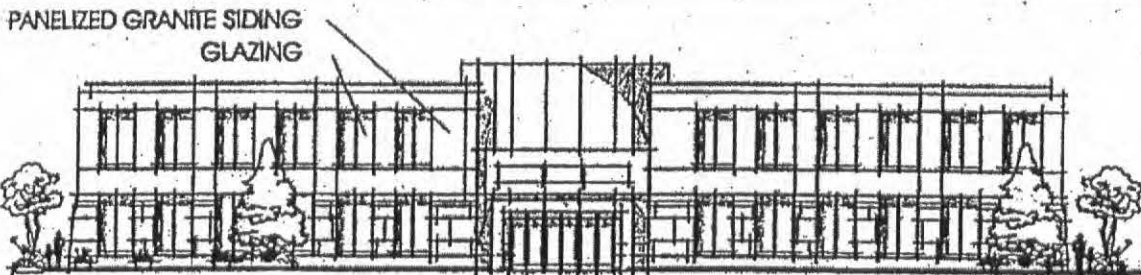
**raised planter box
with bench**

decorative hardscape

Figure 4-9 Traffic Circle



ELEVATION 1
ONE STORY BUILDING



ELEVATION 2
TWO STORY BUILDING



ELEVATION 3
THREE/FOUR STORY BUILDING

Figure 4-10 Architectural Character

- All buildings must incorporate a unified architectural design theme.
 - All building materials and colors shall be reviewed and approved by the architectural control committee and city staff prior to issuance of building permit. Colors must relate to the architectural style.
 - An architectural checklist and architectural vocabulary has been incorporated within the final SPD handbook to ensure that proper and consistent architecture is achieved with construction of each office building.
 - Final approval of architectural elevation plans for each office must be consistent within the SPD architectural standards checklist and vocabulary to the satisfaction of city staff prior to the issuance of a building permit.
 - All buildings shall be finished consistently on all four sides with regard to roofline, roof treatment, windows, and vertical and horizontal elements.
- **Design Guidelines**
 - Exterior materials: Appropriate materials include high quality tempered and/or spandrel glass. Walls facing residential property to the south shall use non-reflective glass to avoid the creation of glare.
 - A color palette and materials list, architectural checklist, and architectural vocabulary have been provided within this SPD document.
 - Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.
 - Siding materials/glass should be continued close to the finished grade on any elevation visible from public areas to eliminate large areas of exposed foundation.
 - Varied building heights are encouraged.
 - Site landscaping, walls, fences, sidewalks, and pathways can play an integral role in design. Colors and materials should match the finishes of the adjoining buildings.
 - Building massing provides variety and texture to a project's overall appearance.
 - **Rooftop Screening/Utility Screening**
 - All mechanical and electrical equipment, air conditioning units, and utility meters shall be integrated into the building and screened from public view with landscaping, fencing or walls that are an extension of the building.

APPENDIX A - PLANT LIST FOR CASTLE CREEK

STREETSCAPE/BUFFER/ENTRYWAY/YARDS

The plants recommended for use in this zone are as follows:

Shade Trees

- Pin Oak
- Red Oak
- Black Locust
- Hackberry
- Ash
- Sycamore

Evergreen Trees

- Austrian Pine
- Ponderosa Pine
- Colorado Spruce
- Scotch Pine

Understory Trees

- Amur Maple
- Smoketree
- Hawthorne
- Crabapple
- Mulberry

Shrubs

- Broom
- Oregon Grape
- Dwarf Mugo Pine
- Barberry
- Rose-of-Sharon
- Potentilla
- Spiraea

- Junipers
- Lilac
- Dogwood
- Forsythia
- Burning bush
- Sandcherry

Ground Covers/Vines/Perennials

- Kinnikinnick
- Lavendar
- Virginia Creeper
- Trumpet Vine
- Coneflower
- Black-eyed Susan
- Coreopsis
- Yarrow

- Ajuga
- Vinca Minor
- Mexican Evening Primrose
- Daylily Varieties

APPENDIX B - PLANT LIST FOR MOUNTAIN VIEW CORPORATE CENTER

EVANS CREEK

Trees

Aspen
Willow
Alder

Shrubs

Purple Osier Willow
Dogwood
Viburnum

Grasses

Rushes
Miscanthus
Festuca
Cattail

Screening Trees

Colorado Blue Spruce
Austrian Pine
Giant Sequoia
Koster Spruce

KIETZKE LANE STREETSCAPE

The plants recommended for use in this zone are as follows:

Street Trees

Bradford Pear
Upright English Oak
American Sweet Gum
European Hornbeam

Shrubs

Broom
Oregon Grape
Dwarf Mugo Pine
Barberry
Rose-of-Sharon
Potentilla
Spiraea

Junipers
Lilac
Dogwood
Forsythia
Burning bush
Sandcherry

Ground Covers/Vines/Perennials

Kinnikinnick
Lavender
Virginia Creeper
Trumpet Vine
Coneflower
Black-eyed Susan
Coreopsis
Yarrow

Ajuga
Vinca Minor
Mexican Evening Primrose
Daylily Varieties

PARKING LOT/OFFICE LANDSCAPING

Plant materials recommended for use in this zone include the following:

Shade Trees

Maple
Ash
Linden
Oak

Understory Trees

Plum
Hedge Maple
Crabapple
Redbud
Hawthorn
Ornamental Pear

Ground Covers/Vines/Perennials

Kinnikinnick
Lavender
Virginia Creeper
Trumpet Vine
Coneflower
Black-eyed Susan
Coreopsis
Yarrow

Evergreen Trees

Deodar Cedar
Atlas Cedar
Scotch Pine

Shrubs

Cotoneaster
Oregon Grape
Potentilla
Spiraea
Junipers
Dwarf Mugho Pine
Viburnums
Red Twig Dogwood

Ajuga
Vinca Minor
Mexican Evening Primrose
Daylily Varieties

APPENDIX C

**CASTLE CREEK AND MOUNTAIN VIEW CORPORATE CENTER
SPD ARCHITECTURAL/DEVELOPMENT CHECKLIST**

SPD PROJECT CHECKLIST

This checklist must be submitted with any application for a building permit within the SPD.

Name of Project: _____

Planning Unit Name*: _____ (Attach 8 1/2" x 11" location map illustrating project location within the SPD)

Developer: _____

Developer's Agent: _____

Address: _____

Phone: _____

Fax: _____

- Office
(No. of Acres: _____ Gross Floor Area: _____ Describe Project including hours of operation. Use additional paper if needed): _____

The following items are required for review by the Community Development Department prior to obtaining a building permit:

Office Projects:

- Site Plan illustrating:
 - structure locations
 - access from public street(s)
 - setbacks
 - location of free-standing signs
 - parking areas (with number of regular and handicap spaces indicated) with parking ratios noted
 - pedestrian and bicycle paths (if applicable)
 - recreation areas and other amenities
- Landscape and irrigation plan (on-site and any required perimeter landscaping) per Handbook/RMC requirements
- Buffering requirements
- Full color architectural elevations (all sides of proposed buildings) with construction

materials and building heights noted

- Free-standing sign elevations with materials, colors, and heights noted
- Signs calculations
- Outdoor lighting plan prepared by professional illumination engineer
- Project phasing plan

For all proposed development projects:

- Letter from Master Developer indicating conformance of the proposed project with the SPD Development Standards Handbook.
- 2 copies of the building plans stamped and signed by the master developer certifying that the plans are in conformance with the SPD Development Standards Handbook.

Note: The City of Reno may require changes to the plans after submittal. The project developer must notify the master developer of any such required changes prior to obtaining a building permit for his project. This process does not relieve the project developer from the responsibility for obtaining all necessary review and approvals of these changes from the master developer.



Office of the City Clerk

Donald J. Cook
City Clerk
City of Reno
P. O. Box 7
Reno, NV 89504

Telephone (702) 334-2030
Fax (702) 334-2432

November 12, 1996

Dayton and Suzanne McDonald
863 Zolezzi Lane
Reno, NV 89511

FILED THIS DATE

11, 13, 96

BY:

[Signature]
CITY CLERK

RE: Case No. 87-96/File 3 (Castle Creek)

Dear Applicant:

At a regular meeting held November 12, 1996, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

- A. Annexation of two parcels containing ± 18.43 acres, by ordinance;
- B. A Master Plan amendment from Single Family Residential to Office on ± 6.42 acres, by resolution, subject to a finding of conformance by the Regional Planning Commission;
- C. A zoning map amendment from LLR-2.5 (Large Lot Residential - 2.5 acres) on ± 16.57 acres and A-2 (County), which converts to LLR-2.5 upon annexation, on ± 18.45 acres to SPD (Specific Plan District) on ± 35 acres located on the southwest corner of De! Monte Lane/US 395 intersection, ± 250 north of Country Estates Circle in southwest Reno, by resolution of intent, subject to the following conditions:
 1. The SPD Design Standards Handbook shall incorporate to the satisfaction of staff an architectural vocabulary and checklist for the residential and office portions of the project and any other revisions deemed appropriate by the Planning Commission and City Council, added at the respective

public hearings. No construction activity shall take place upon the ±35 acre site until the SPD zoning ordinance is in effect on the property.

2. The applicant shall complete and submit a final Development Standards Handbook and a statement of purpose and plan to staff within four months of the date of City Council approval; any revisions and corrections required by staff must be completed within two months from the date of notification by staff. Failure to comply with either of these time limits shall render this approval null and void.
- D. A tentative map to develop in up to 6 phases, a 153 lot single family residential subdivision on ±29 acres with a density of ±5.3 dwelling units per acre; subject to the following conditions; and
- E. Abandonment of a ±62' x 252' of Mirkwood Lane (Yoakam Lane) containing ±15,664 square feet, subject to the following conditions:
1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes shall prevail.
 2. Prior to approval of the first any final map, the applicant shall submit plans for street lighting along subdivision streets and at the intersection of Kietzke Lane with Del Monte Lane and shall install that street lighting prior to issuance of any certificate of occupancy.
 3. Prior to approval of the first final map or issuance of a building permit as applicable, the applicant shall have plans approved to extend 5' of sidewalk under the freeway to Circuit City Shopping Center with Del Monte Lane improvements. Said improvements shall be installed prior to issuance of the first certificate of occupancy.
 4. Del Monte Lane improvements shall be shown on the first final map and completed prior to issuance of the first certificate of occupancy.
 5. Prior to approval of the first final map, a means acceptable to City staff to provide for private maintenance of the drainage channel shall be approved. Bonding shall be provided to ensure perpetual maintenance of the drainage channel, with

emergency maintenance rights reserved by the City. Reimbursement to the City for emergency maintenance costs shall be made a part of the private maintenance provisions.

6. Channel and detention improvements shall be completed with the first final map.
7. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titles "Inspection, Testing and Verification" and "Quality Assurance Program".
8. Prior to the recordation of the order of abandonment, the applicant shall deposit with the City a check made payable to the Washoe County Recorder for the recording fee.
9. Prior to approval of a final map and/or building permit, whichever occurs first, the applicant shall verify to City staff that all necessary approvals from the Nevada Department of Transportation have been obtained, including but not limited to: a) Del Monte Lane/Kietzke Lane intersection channelization and traffic control devices; b) frontage improvements along Del Monte Lane; c) traffic studies; d) occupancy permits; e) alignment of the Kietzke Lane/Del Monte Lane intersection; and f) access requirements.
10. Prior to the issuance of the building permit, the applicant shall agree to install an approved automatic fire sprinkler system within each commercial building in accordance with NFPA 13.
11. Prior to the issuance of the building permit, the applicant shall agree to install an approved automatic fire sprinkler system within each residence, or the developer shall contribute One Hundred Seventy-five Dollars (\$175) per dwelling unit under the conditions and agreement for the proposed fire station in the South Meadows development. See Attachment 1- Fire Protection, for additional Fire Department conditions.
12. Prior to approval of the first final map, permit, the applicant shall have prepared for review and approval by staff, a final wetlands delineation report including the extent, class and proposed mitigations including the time frame for completing any required mitigations. No grading shall be permitted on the site until staff approval of the wetlands report.

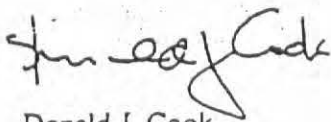
13. The applicant shall comply with all applicable Washoe County District Health Department regulations.
14. Prior to approval of any final map and/or issuance of a grading permit, the applicant shall provide proof to staff that a special use permit to provide storm water detention on the Regional Park adjacent to the west has been approved by Washoe County.
15. Prior to approval of a final map that requires installation of the drainage channel, the applicant shall have plans approved by staff for an 8 foot wide pedestrian path, landscaping and irrigation plan consistent with the SPD Design Guidelines, benches spaced ± 150 feet apart along the 8 foot pedestrian path, barbeque and picnic facilities (a minimum of 3) and a minimum 2,400 square foot tot lot facility including perimeter fencing, benches for parental supervision and play equipment suitable for children ages 1-6. Said improvements shall be installed prior to issuance of a certificate of occupancy for the first house within this phase.
16. Prior to approval of any final map, the property owner(s) shall provide the Community Development Department with appropriate documentation indicating that an avigation easement has been granted and accepted by the Airport Authority of Washoe County on this property.
17. Should Mirkwood Lane be abandoned, the applicant shall reserve a minimum 8 foot wide to a maximum 15 foot wide pedestrian easement to provide pedestrian/bicycle access to the Regional Park. The applicant shall be required to pave the access easement, prior to issuance of the first certificate of occupancy for the final map phase adjacent to the easement.
18. The applicant/developer shall not record more than 6 final maps with a minimum of 19 lots per phase.
19. The applicant/developer shall record the final map(s) in accordance with the time limits contained in State law or this approval shall be null and void.
20. A 20 foot wide landscape strip, including 3-5 foot tall berms, shall be installed along the west property line of the office portion of this development with construction of the first office building located on the west side of Kietzke Lane.

Dayton & Suzanne McDonald
Case No. 87-96/File 3 (Castle Creek)
November 12, 1996
Page 5

The zoning map amendment will become effective upon compliance with above conditions C. (1) and (2), and upon passage and adoption of the appropriate ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

xc: Development Services
John Media, Development Services
Brent Boyer, Property Agent
Ed Schenk, Parks & Recreation
Nevada Department of Transportation
Reno Fire Department
District Health Department
Airport Authority
Russell & Diane Schooley
Elizabeth Anderson
Jack Arian, c/o Supply Sergeant Stores
SNK Multi Family Inc.
Jeff Codega, Codega Planning & Design

EXPLANATION: *Matter in italics is new*; Matter in brackets [] is material to be omitted.

BILL NO. 5315

ORDINANCE NO. 4791

AN ORDINANCE TO AMEND CHAPTER 18.06 OF THE RENO MUNICIPAL CODE, CONCERNING "ZONING", BY ADDING THERETO A NEW SECTION TO BE KNOWN AS 18.06.040(b).612 RELATING TO A ±35 ACRE SITE LOCATED ON THE SOUTHWEST CORNER OF THE DEL MONTE LANE/U.S. 395 INTERSECTION AS IS MORE PARTICULARLY DESCRIBED IN THE ATTACHED "EXHIBIT A", AND REZONING SAID PROPERTY FROM LLR-2.5 (LARGE LOT RESIDENTIAL - 2.5 ACRES) TO SPD (SPECIFIC PLAN DISTRICT); TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.06 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.06.040(b).612 relating to a ±35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached "Exhibit A" and rezoning said property from LLR-2.5 (Large Lot Residential - 2.5 acres) to SPD (Specific Plan District), the same to read as follows:

Sec. 18.06.040(b).612. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. 87-96/File 3, thereby changing the use of land indicated therein, relating to a ±35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached "Exhibit A", and rezoning said property from LLR-2.5 (Large Lot Residential - 2.5 acres) to SPD (Specific Plan District).

C:\ORDS\87-96\F1.VK

-1-

CASE NO. 87-96/FILE 3 (CASTLE CREEK)

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 23rd day of Sept., 1997 by the following vote of the Council:

AYES: Pearce, Aiazzi, Herndon, Herman, Griffin

NAYS: None

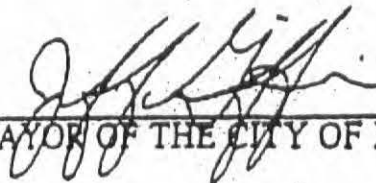
ABSTAIN: None


ABSENT: Hascheff, Newberg

APPROVED this 23rd day of September, 1997.



ATTEST:


MAYOR OF THE CITY OF RENO


CITY CLERK AND CLERK OF THE CITY
COUNCIL OF THE CITY OF RENO, NEVADA.

EFFECTIVE DATE: September 26, 1997



RECEIVED

AUG 30 1999

CFA

Office of the City Clerk

Donald J. Cook
City Clerk
P.O. Box 7
Reno, NV 89504

Telephone (775) 334-2030
Fax (775) 334-2432 - email dcook@reno.gov

August 25, 1999

FILED THIS DATE

8 26 99

BY: CDJ
CITY CLERK

K & CJ, Inc.
4405 Interlaken
Reno, NV 89509

RE: Case No. 343-99 (Castle Creek/The Homecoming at Reno)

Dear Applicant:

At a regular meeting held August 24, 1999, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

1. A zoning text amendment to increase the office acreage by ± 7 acres from ± 6.42 to ± 7.12 acres, decrease the residential acreage by ± 1.68 acres from ± 29 to ± 27.32 acres and modify the SPD handbook development standards, subject to the following conditions:
 - A. The revised SPD Design Standards shall incorporate the revisions to the handbook contained in Exhibit E and any other revisions deemed appropriate by the Planning Commission and City Council, added at the respective public hearings. No construction activity shall take place within the ± 27.32 acre single family residential portion of the site until the revised SPD zoning ordinance is in effect on the property.
 - B. Prior to approval of the amended SPD zoning ordinance, the applicant shall have final plans approved for restoration of Evans Creek in conformance with the City's Major Drainageways Plan and Wetlands Ordinance, to the satisfaction of City staff and the Army Corps of Engineers.

K & CJ, Inc.

Case No. 343-99 (Castle Creek/The Homecoming at Reno)

August 25, 1999

Page 2

- C. The applicant shall submit the revised Development Standards Handbook to staff within two months of the date of City Council approval and complete any revisions or corrections required by staff within two months from the date of notification by staff. Failure to comply with either of these time limits shall render the approval null and void.
2. A tentative map to develop a 145 lot single family residential subdivision for senior citizens on ±27.32 acres, subject to the following conditions;
3. A special use permit to modify a disturbed major drainageway (Evans Creek), subject to the following conditions; and
4. Abandonment of a 15 foot wide, ±430 foot long sanitary sewer easement containing 6,450 square feet on a ±35 acre site located on the southwest corner of Del Monte Lane/U.S. 395 intersection in a SPD (Specific Plan District) zone, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes shall prevail.
2. The applicant/developer shall not record more than four (4) final maps with a minimum of 19 lots per phase.
3. The applicant/developer shall record the final map(s) in accordance with the time limits contained in State law or this approval shall be null and void.
4. Prior to approval of each final map, the applicant shall submit plans for street lighting along subdivision streets and at the intersection of Kietzke Lane with Del Monte Lane and shall install that street lighting prior to issuance of any certificate of occupancy.
5. Prior to approval of the first final map, a means acceptable to City staff to provide for private maintenance of Evans Creek through the site shall be approved. Security (e.g., cash or letter of credit) shall be provided to ensure perpetual maintenance of Evans Creek within the project by the Homeowners Association, with emergency maintenance rights reserved by the City. Reimbursement to the City for emergency maintenance costs shall be made a part of the private maintenance provisions.

6. Prior to approval of the first final map, the applicant shall have plans approved for construction of the Evans Creek channel, including both on-site and off-site upstream drainage improvements, as approved with condition B contained in this letter. These improvements shall be completed prior to issuance of the first certificate of occupancy.
7. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titles "Inspection, Testing and Verification" and "Quality Assurance Program".
8. Prior to approval of the first final map and/or building permit, whichever occurs first, the applicant shall verify to City staff that all necessary approvals from the Nevada Department of Transportation have been obtained, including but not limited to: a) Del Monte Lane/Kietzke Lane intersection channelization and traffic control devices; b) frontage improvements along Del Monte Lane; c) traffic studies; d) occupancy permits; e) alignment of the Kietzke Lane/Del Monte Lane intersection; f) access requirements; and (g) for any facility encroaching upon State right-of-way and for any drainage disposal in State right-of-way.
9. Prior to the issuance of the building permit, the applicant shall agree to install an approved automatic fire sprinkler system within each commercial building in accordance with NFPA 13.
10. Prior to the issuance of the building permit, the applicant shall agree to install an approved automatic fire sprinkler system within each residence, or the developer shall contribute One Hundred Seventy-five Dollars (\$175) per dwelling unit under the conditions and agreement for the proposed fire station in the South Meadows development. See Attachment 1 - Fire Protection, for additional Fire Department conditions.
11. The applicant shall comply with all applicable Washoe County District Health Department regulations.
12. Prior to approval of the first final map, the applicant shall have plans approved by staff for a 6 foot wide pedestrian path consistent with the SPD Design Guidelines, including benches spaced ± 150 feet apart along the pedestrian path. Modifications to the bench spacing requirement can be made by staff provided the overall number of benches averages one (1) bench for every 150 lineal feet of path. Said improvements shall be installed prior to issuance of a certificate of occupancy for the first house within each phase.

K & CJ, Inc.

Case No. 343-99 (Castle Creek/The Homecoming at Reno)

August 25, 1999

Page 4

13. Prior to approval of any final map, the property owner(s) shall provide the Community Development Department with appropriate documentation indicating that an avigation easement has been granted and accepted by the Airport Authority of Washoe County on this property.
14. Should Mirkwood Lane be abandoned, the applicant shall reserve a minimum 8 foot wide to a maximum 15 foot wide pedestrian easement to provide pedestrian/bicycle access to the Regional Park. The applicant shall be required to pave the access easement, prior to issuance of the first certificate of occupancy for the final map phase adjacent to the easement.
15. A 20 foot wide landscape strip, including 3-5 foot tall berms, shall be installed along the west property line of the office portion of this development with construction of the first office building located on the west side of Kietzke Lane.
16. Prior to approval of the first final map, the applicant shall have plans approved to provide strobe light activated gates at all access points and provide off hour emergency access for maintenance, to the satisfaction of Fire Department, Community Development Department and Public Works staff.
17. Prior to approval of each final map, the applicant shall have plans approved demonstrating that adequate detention shall be provided to assure no adverse impact on any other property due to this development.
18. Prior to the issuance of a building permit, the applicant shall submit to the City Engineer, verification that the proposed elevations of the lowest floor beams as shown on the plans are in compliance with RMC Chapter 12.24 "Flood Hazard Ordinance." Prior to underfloor inspection, the applicant shall submit to the Community Development Department, verification that the elevations of the lowest floor beams as constructed are in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance."
19. Relative to the abandonment of the existing sewer line and its relocation:
 - a. Prior to the relocation or reconstruction of public utilities, the applicant shall provide utility improvement plans for review and approval by the City Engineer and shall obtain an excavation permit from the City.
 - b. Prior to the recordation of the order of abandonment, the applicant shall deposit with the City a check made payable to the Washoe County Recorder for the recording fee.

K & CJ, Inc.

Case No. 343-99 (Castle Creek/The Homecoming at Reno)

August 25, 1999

Page 5

- c. Prior to the recordation of the order of abandonment, the applicant shall grant a new easement, construct the replacement sewer line, remove the abandoned line and manholes and have the new sewer accepted by the City for maintenance.

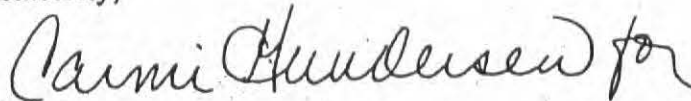
20. Prior to issuance of any certificate of occupancy, the applicant shall construct full street improvements to Kietzke Lane from its current terminus south to its proposed southern terminus including the cul-de-sac. Landscaping as required on page 3-21 of the SPD handbook shall be installed with the Kietzke Lane street improvements. Public street and/or driveway access shall be granted through the landscaping and pedestrian easement located along the west side of the Kietzke Lane extension.

21. Prior to April 1, 2000, the applicant shall verify to City staff that all necessary approvals from the Nevada Department of Transportation have been obtained for construction of an 8 foot sound wall within NDOT right-of-way along the east side of the site. Said wall shall be constructed prior to issuance of the first certificate of occupancy for any house located adjacent to the freeway right-of-way.

The zoning text amendment will become effective upon compliance with conditions A and B above and upon passage and adoption of a revised ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

xc: Development Services
Traffic Design Engineer
Ed Schenk, Parks, Recreation & Community Services
John Media, Development Services
Chuck Calloway, Public Works
Reno Fire Department
Nevada Department of Transportation
Castle Creek Properties, LLC
Jack Arian, c/o Supply Sergeant Stores
Melissa Lindell, CFA, Inc.

EXPLANATION: *Matter in italics is new*; Matter in brackets [] is material to be omitted.

BILL NO. 5649

ORDINANCE NO. 5120

AN ORDINANCE TO AMEND ORDINANCE NO. 4791 CHAPTER 18.06, SECTION 18.06.040(B).030 OF THE RENO MUNICIPAL CODE CONCERNING ZONING BY ADDING CERTAIN WORDING AND DELETING CERTAIN WORDING TO THE CASTLE CREEK SPECIFIC PLAN DISTRICT; TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.06 of the Reno Municipal Code is hereby amended by adding certain wording and deleting certain wording to Section 18.06.040(b).330 related to ± 29 acres of a ± 35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached Exhibit 'A'; and amending the development standards handbook as it applies to the property described in Exhibit 'B', the same to read as follows:

Sec. 18.06.040(b).330. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown in Case No. 343-99 and more particularly described in Exhibit 'A' attached hereto and incorporated within, thereby changing the use of land indicated therein, relating to ± 29 acres of a ± 35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached Exhibit 'B' attached hereto and incorporated herein.

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

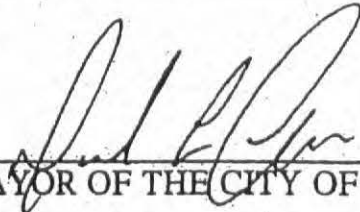
PASSED AND ADOPTED this 25th day of January, 2000, by the following vote of the Council:

AYES: Rigdon, Herndon, Hascheff, Newberg, Doyle, Aiazzi

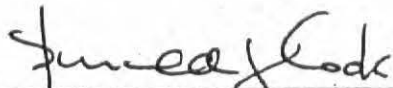
NAYS: None

ABSTAIN: None ABSENT: Griffin

APPROVED this 25th day of January, 2000.

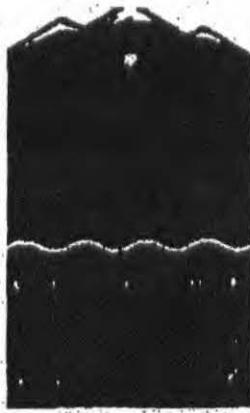

MAYOR OF THE CITY OF RENO

ATTEST:


CITY CLERK AND CLERK OF THE CITY
COUNCIL OF THE CITY OF RENO, NEVADA.

EFFECTIVE DATE: January 28, 2000

Donald J. Cook
City Clerk
(775) 334-2030
dcook@ci.reno.nv.us



Office of the City Clerk
Central Cashiering - (775) 334-2032
Parking Tickets - (775) 334-2279
Steven D. Whitaker, CRM
Records Systems Manager
(775) 326-6633

January 23, 2001

Templeton Development Corporation
Attn: William Quinn
3311 South Rainbow, Suite 225
Las Vegas, NV 89102

FILED THIS DATE

1.1.24.01
BY: [Signature]
CITY CLERK

RE: Case No. LDC01-00197 (Castle Creek/Mountain View Corporate Center)

Dear Applicant:

At a regular meeting held January 23, 2001, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

1. A zoning text amendment to the existing SPD (Specific Plan District) to convert ± 28.69 acres of the ± 34.6 acre site from a 145 lot single family residential subdivision to a 401,000 square foot business park consisting of 1, 2 and 3 story buildings; and modify the SPD standards to reflect the change from residential to business park use, by resolution of intent, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

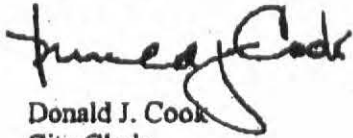
- A. The revised SPD Design Standards shall incorporate the hours of operation limitations for the 20,000 square foot commercial portions of the project described in the land use compatibility section of the January 3, 2001, Planning Commission staff report and any revisions deemed appropriate by the Planning Commission and City Council, at the respective public hearings. No construction activity shall take place within the ± 28.69 acre portion of the site until the revised SPD zoning ordinance is in effect on the property.

5. Prior to approval of each final map or building permit as applicable, the applicant shall submit plans for street lighting along subdivision streets and shall install that street lighting prior to issuance of any certificate of occupancy.
6. Prior to approval of each final map or building permit as applicable, the applicant shall have plans approved demonstrating that adequate detention shall be provided to assure no adverse impact on any other property due to this development.
7. Prior to the issuance of a building permit, the applicant shall submit to the City Engineer, verification that the proposed elevation of the finished floor as shown on the plans is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to the issuance of a building permit, the applicant shall submit to the City Engineer, verification that the proposed flood proofing as shown on the plans is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to slab or underfloor inspection, the applicant shall submit to the Community Development Department, verification that the elevation of the finished floor as constructed is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to certificate of occupancy, the applicant shall submit to the Community Development Department, verification that flood proofing as constructed is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance."
8. Prior to approval of the first final map and/or issuance of the first building permit, whichever occurs first, the applicant shall verify to City staff that all necessary approvals from the Nevada Department of Transportation have been obtained, including but not limited to: a) Del Monte Lane/Kietzke Lane intersection channelization and traffic control devices; b) traffic studies; c) occupancy permits; d) the provision of adequate storage for left-turning vehicles at the Kietzke Lane/Del Monte Lane intersection; e) access requirements; and f) for any facility encroaching upon State right-of-way and for any drainage disposal in State right-of-way.
9. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titled "Inspection, Testing and Verification" and "Quality Assurance Program".

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Templeton Development Corporation
Case No. LDC01-00197 (Castle Creek/Mountain View Corporate Center)
January 23, 2001
Page 4

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

xc: Development Services
Traffic Design Engineer
Ed Schenk, Parks, Recreation & Community Services
John Media, Development Services
Nevada Department of Transportation
Castle Creek Properties LLC, Douglas Clemetson
K & CJ, Inc.
Brita Tryggvi, CFA, Inc.

EXPLANATION: *Matter in italics is new; Matter in brackets [] is material to be omitted.*

BILL NO. 5750

ORDINANCE NO. 5219

AN ORDINANCE TO AMEND ORDINANCE NO. 5120 CHAPTER 18.06, SECTION 18.06.201B.819 OF THE RENO MUNICIPAL CODE CONCERNING ZONING BY ADDING CERTAIN WORDING AND DELETING CERTAIN WORDING TO THE CASTLE CREEK SPECIFIC PLAN DISTRICT; TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.06 of the Reno Municipal Code is hereby amended by adding certain wording and deleting certain wording to Section 18.06.201B.819 related to ±29 acres of a ±35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached Exhibit 'A'; and amending the development standards handbook as it applies to the property described in Exhibit 'B', the same to read as follows:

Sec. 18.06.201B.819. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown in LDC01-00197 and more particularly described in Exhibit 'A' attached hereto and incorporated within, thereby changing the use of land indicated therein, relating to ±29 acres of a ±35 acre site located on the southwest corner of the Del Monte Lane/U.S. 395 intersection and more particularly described in the attached Exhibit 'B' attached hereto and incorporated herein.

Ordinance/Crd No. 5219 - LDC01-00197 (Castle Creek).wpd

- 1 -

LDC01-00197 (CASTLE CREEK/MOUNTAIN VIEW CORPORATE CENTER) - Vern Kloos
APN NO. 040-162-64, 66, 72, 73, 74 AND 75

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno:

PASSED AND ADOPTED this 27th day of February, 2001, by the following vote of the Council:

AYES: Rigdon, Doyle, Hascheff, Harsh, Sferrazza-Hogan, Aiazzi, Griffin


NAYS: None

ABSTAIN: None ABSENT: None

APPROVED this 27th day of February, 2001.


MAYOR OF THE CITY OF RENO

ATTEST:


CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF RENO, NEVADA



EFFECTIVE DATE: March 2, 2001

EXHIBIT "A"

Legal Description

Mountain View Corporate Center Parcels

All that real property situate in the County of Washoe, State of Nevada, described as follows:
Situate in portions of the Southeast one-quarter of Section 36, Township 19 North, Range 19 East, and the Southwest one-quarter of Section 31, Township 19 North Range 20 East, M.D.B.&M., Washoe County, Nevada and more particularly described as follows:

PARCEL 1 (Parcel 1 of R/S Map No. 3753)

Beginning at a point from which the Southwest corner of said Section 31 bears North 88°55'07" West a distance of 60.00 feet; thence North 01°03'11" East 99.77 feet; thence on a curve to the left having a central angle of 63°26'56", a radius of 400.00 feet for an arc distance of 442.96 feet; thence North 34°19'37" East 99.36 feet; thence North 43°39'14" East, 106.53 feet; thence South 11°53'54" East, 18.99 feet; thence North 78°06'06" East, 30.00; thence North 11°53'54" West 63.21 feet; thence North 43°39'14" East, 23.49 feet; thence North 61°08'29" East 87.41 feet; thence North 50°17'23" East 175.60 feet; thence North 37°11'10" West 108.36 feet; thence North 52°48'50" East 85.00 feet; thence North 37°11'10" West 121.27 feet; thence on a curve to the right having a central angle of 16°23'58", a radius 215.00 feet, for an arc distance of 61.54 feet; thence on a curve to the left having a central angle of 124°22'40" a radius of 19.00 feet for an arc distance of 41.25 feet thence South 34°50'09" West 24.43 feet; thence North 60°39'26" West 232.22 feet; thence from a tangent bearing of North 10°27'07" East on a curve to the left having a central angle of 18°32'14" a radius of 115.00 feet for an arc distance of 37.22 feet; thence North 08°05'27" West 18.13 feet; thence on a curve to the right having a central angle of 99°10'53" a radius of 19.00 feet for an arc distance of 32.89 feet; thence North 01°05'26" East 30.00 feet; thence from a tangent bearing of North 88°54'34" West on a curve to the left having a central angle of 08°45'36" a radius of 115.00 feet, for an arc distance of 17.58 feet; thence North 08°05'27" West 98.50 feet; thence North 81°54'33" East 83.03 feet; thence South 66°18'58" East 117.33 feet; thence South 41°55'22" East, 56.49 feet; thence South 73°05'02" East, 39.53 feet; thence South 37°11'10" East 838.17 feet; thence South 19°49'57" East, 200.54 feet; thence South 20°18'45" East 533.92 feet; thence North 88°55'07" West 826.25 feet to the point of beginning, containing 16.96 acres, more or less.

PARCEL 2 (Parcel 2 of R/S Map No. 3753)

Beginning at a point from which the Southwest corner of said Section 31 bears South 18°21'18" East a distance of 485.12 feet; thence from a tangent bearing of North 62°23'45" West on a curve to the left having a central angle of 08°15'49" a radius of 400.00 feet for an arc distance of 57.69 feet; thence North 00°44'04" East 304.63 feet; thence North 88°16'26" West 396.97 feet; thence North 07°17'48" West 165.27 feet; thence on a curve to the right having a central angle of 36°16'10" a radius of 219.00 feet for an arc distance of 138.63 feet; thence North 28°58'21" East 153.78 feet; thence on a curve to the left having a central angle of 26°59'13", a radius of 331.00 feet for an arc distance of 155.90 feet; thence North 81°54'33" East 342.48 feet; thence South 08°05'27" East 98.50 feet; thence from a tangent bearing North 82°19'50" East on a curve to the right having a central angle of 08°45'36" a radius of 115.00 feet for an arc distance of 17.58 feet; thence South 01°05'26" West 30.00 feet; thence from a tangent bearing of North 88°54'34" West on a curve to the left having a central angle of 99°10'53" a radius of 19.00 feet for an arc distance of 32.89 feet; thence South 08°05'27" East 18.13 feet; thence on a curve to the right having a central angle of 18°32'34" a radius of 115.00 feet for an arc distance of 37.32 feet; thence South 60°39'26" East 232.22 feet; thence North 34°50'09" East 24.43 feet; thence on a

curve to the right having a central angle of $124^{\circ}22'40''$ a radius of 19.00 feet for an arc distance of 41.25 feet; thence on a curve to the left having a central angle of $16^{\circ}23'58''$ a radius of 215.00 feet for an arc distance of 61.54 feet; thence South $37^{\circ}1'110''$ East 121.27 feet; thence South $52^{\circ}48'50''$ West 85.00 feet; thence South $37^{\circ}1'110''$ East 121.27 feet; thence South $52^{\circ}48'50''$ West 85.00 feet; thence South $37^{\circ}1'110''$ East 108.36 feet; thence South $50^{\circ}17'23''$ West 175.60 feet; thence South $61^{\circ}08'29''$ West 87.41 feet; thence South $43^{\circ}39'14''$ West 23.49 feet; thence South $11^{\circ}53'54''$ East 63.21 feet; thence South $78^{\circ}06'06''$ West 30.00 feet, thence North $11^{\circ}53'54''$ West 18.99 feet; thence South $43^{\circ}39'14''$ West 106.53 feet; thence South $34^{\circ}19'37''$ West 99.36 feet to the point of beginning, containing 10.21 acres, more or less.

PARCEL 3: (Parcel 3 of R/S Map No. 3753)

Beginning at a point from which the Southeast corner of said Section 36 bears South $38^{\circ}13'38''$ East a distance of 1019.57 feet; thence North $07^{\circ}17'48''$ West 201.08 feet; thence on a curve to the right having a central angle of $36^{\circ}16'10''$ a radius of 281.00 feet for an arc distance of 177.88 feet; thence North $28^{\circ}58'21''$ East 103.07 feet; thence on a curve to the left having a central angle of $24^{\circ}37'51''$ a radius of 269.00 feet for an arc distance of 115.64 feet; thence North $81^{\circ}54'33''$ East 63.20 feet; thence from a tangent bearing of South $01^{\circ}59'08''$ West on a curve to the right having a central angle of $26^{\circ}59'13''$ a radius of 331.00 feet for an arc distance of 155.90 feet; thence South $28^{\circ}58'21''$ West 153.78 feet; thence on a curve to the left having a central angle of $36^{\circ}16'10''$, a radius of 219.00 feet, for an arc distance of 138.63 feet; thence South $07^{\circ}17'48''$ East 165.27 feet; thence North $88^{\circ}16'26''$ West, 32.40 feet to the point of beginning, containing 0.679 acres, more or less.

PARCEL 4: (Parcel 4 of R/S Map No. 3753)

Beginning at a point from which the Southeast corner of said Section 36 bears South $39^{\circ}08'45''$ East a distance of 1033.57 feet; thence North $07^{\circ}17'48''$ West 549.35 feet; thence North $81^{\circ}54'33''$ East 183.36 feet; thence from a tangent bearing of South $04^{\circ}20'30''$ West on a curve to the right having a central angle of $24^{\circ}37'51''$ a radius of 269.00 feet for an arc distance of 115.64 feet; thence South $28^{\circ}58'21''$ West 103.07 feet; thence on a curve to the left having a central angle of $36^{\circ}16'10''$, a radius of 281.00 feet for an arc distance of 177.88 feet; thence South $07^{\circ}17'48''$ East 201.08 feet; thence North $88^{\circ}16'26''$ West 21.60 feet to the point of beginning, containing 0.839 acres, more or less.

Basis of bearings for this description is GPS Control Monument #8 to Monument #9 per Record of Survey Map No. 2521 recorded December 8, 1992 as File No. 1628613.

APN's: 040-162-72
040-162-73
040-162-74
040-162-75

Total Acreage for Mountain View Corporate Center Parcels: 28.69 acres

Castle Creek Properties Parcels

All that certain parcel of land lying within a portion the Southeast one-quarter (SE $\frac{1}{4}$) of Section Thirty Six (36) of Township Nineteen North (19N), Range Nineteen East (19E), M.D.M., and within a portion of the Southwest one-quarter (SW $\frac{1}{4}$) of Section Thirty One (31) of Township Nineteen North (19N), Range Twenty East (20E), M.D.M., more particularly described as follows:


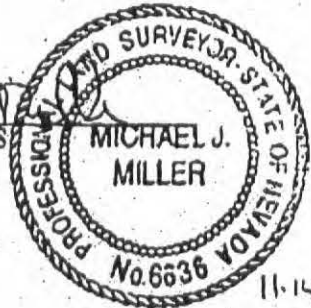
Adjusted Parcel 1 and Parcel 2 as shown on Record of Survey Map No. 3355, recorded December 15, 1997, Official Records, Washoe County, Nevada.

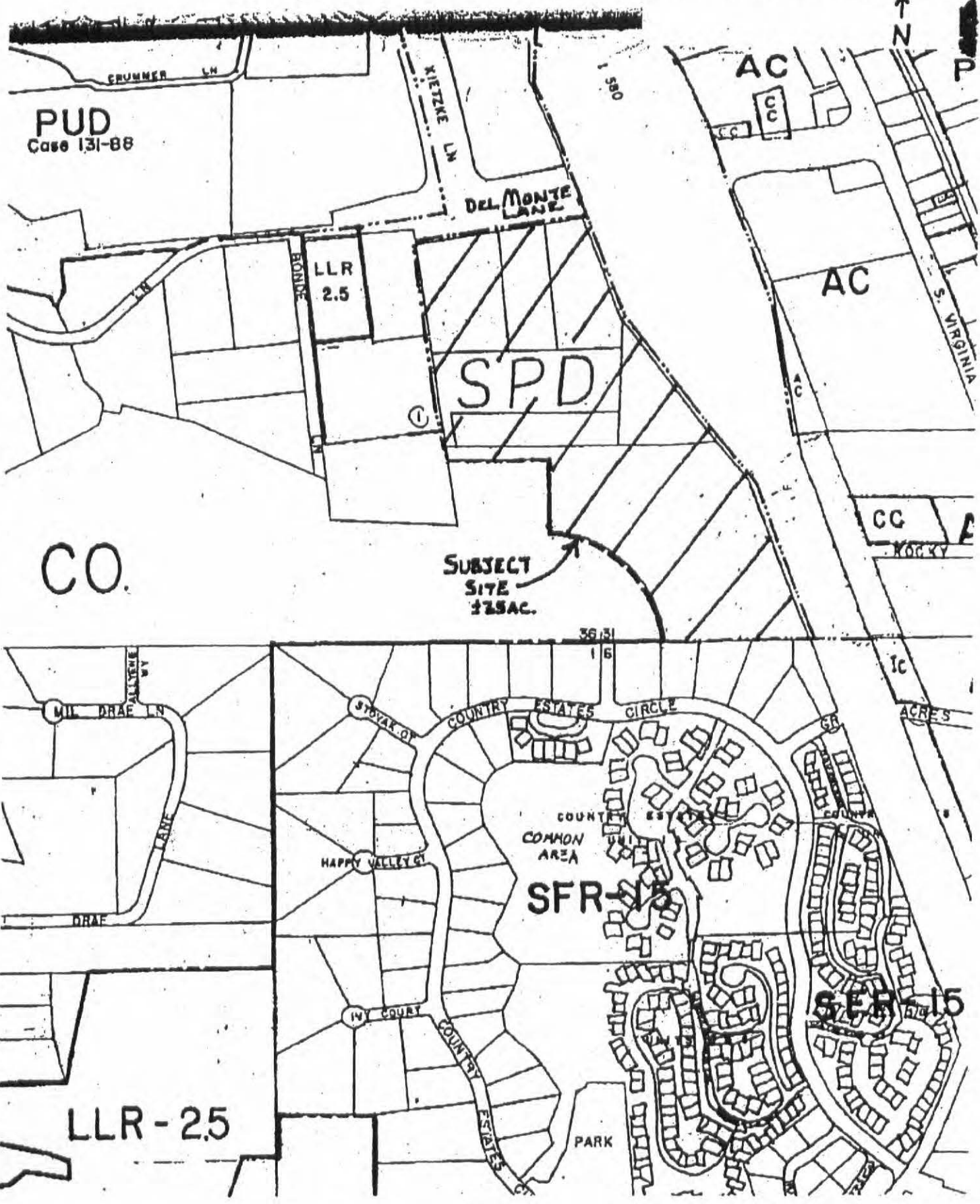
Excepting Therefrom: All that real property quitclaimed to the City of Reno for public roadway purposes. Reference is made to that quitclaim deed recorded as Document No. 2234481, Official Records, Washoe County, Nevada.

APN's: 040-162-64
040-162-66

Total acreage for Castle Creek Parcels: 5.91 acres

Grand Total for Mountain View Corporate Center & Castle Creek parcels: 34.60 acres, more or less.


Michael J. Miller, P.L.S.

11-14-00



Donald J. Cook
City Clerk
(775) 334-2030
dcook@ci.reno.nv.us



Office of the City Clerk
Central Cashiering - (775) 334-2032
Parking Tickets - (775) 334-2279
Steven D. Whitaker, CRM
Records Systems Manager
(775) 326-6633

October 11, 2001

FILED THIS DATE
10.11.01
BY: [Signature]
CITY CLERK

Corcha, LLC
5310 Kietzke Ln., Ste. 207
Reno, NV 89511

RE: Case No. LDC02-00027 (Castle Creek/Mt. View Corporation)

Dear Applicant:

At a regular meeting held October 9, 2001, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

- A. A Master Plan amendment from Single Family Residential to Special Planning Area on ± 2.25 acres, by resolution, subject to conformance review by the Regional Planning Commission; and
- B. A zoning map amendment (1) from LLR-.5 (Large Lot Residential - .5 acre) to SPD (Specific Plan District) on ± 2.25 acres; and (2) to modify the standards in the handbook to:
(a) change the permitted uses to allow a hotel; (b) change the hours of operation from 7 a.m.-7 p.m. to 6 a.m.-11 p.m. for any restaurant located in the maximum 20,000 square feet of commercial area, by ordinance; and
- C. A special use permit to permit non-residential development adjacent to residentially zoned property on a ± 34.6 acre site located on the south side of Del Monte Lane at the southern terminus of Kietzke Lane, subject to the following conditions:

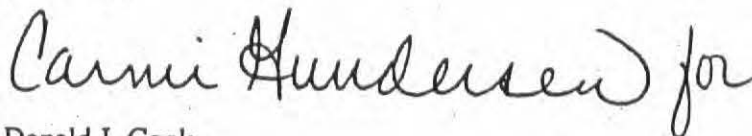
All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. The applicant shall record the final map in accordance with the time limit contained in state law or this approval shall be null and void.
3. The Clemetson addition shall provide for any access, sewer, and/or drainage conditions or needs of the adjacent three properties and secondary access for Bonde Lane Animal Hospital to the south.
4. The Kietzke Lane horizontal curve entering the site shall meet code in final design.
5. Western boundary drainage issues shall be resolved to the satisfaction of staff with construction plans for Phase I of the overall project. The drainage study and plans shall also address access and service extension to neighbors.
6. Sanitary sewer shall be oversized to address service needs to neighbors and extension of services provided if required by staff.
7. Prior to the issuance of a building permit, the applicant shall grant an avigation easement to, and acceptable to, the Airport Authority of Washoe County over the entire property. The applicant shall provide appropriate documentation indicating the avigation easement has been granted and accepted by the Airport Authority of Washoe County.
8. The applicant shall submit the revised Development Standards Handbook to staff within two months of the date of City Council approval and complete any revisions or corrections required by staff within two months from the date of notification by staff. Failure to comply with either of these time limits shall render the approval null and void.

The zoning map amendment will become effective upon passage and adoption of the appropriate ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

Corcha, LLC

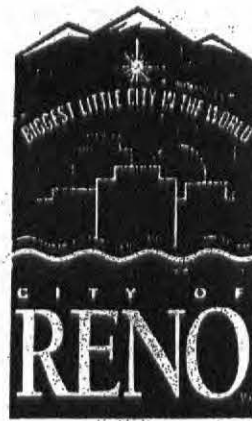
Case No. LDC02-00027 (Castle Creek/Mt. View Corporation)

October 11, 2001

Page 3

xc: Development Services
 Traffic Design Engineer
 Ed Schenk, Parks, Recreation & Community Services
 Airport Authority
 Templeton Development Corp.
 CFA, Inc.

Lynnette R. Jones
City Clerk
(775) 334-2030
jonesl@ci.reno.nv.us



Office of the City Clerk
Central Cashiering (775)334-2032
Parking Tickets (775)334-2279

Steven D. Whitaker, CRM
Records Systems Manager
(775) 326-6633

RECEIVED

December 3, 2002

DEC - 5 2002

CFA

FILED THIS DATE
12/03/02
BY: CLK
CITY CLERK

Dr. David Lowell, D.V.M.
6476 Bonde Lane
Reno, NV 89511

RE: Case No. LDC03-00155 (Mountainview Corporate Center/Castle Creek/Reno Equine Center)

Dear Applicant:

At a regular meeting held November 26, 2002, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

- A. Annexation of ± 1.95 acres, by ordinance;
- B. An amendment to the Master Plan from Single Family to Special Planning Area for ± 1.95 acres, by resolution;
- C. A zoning map amendment to: (a) amend the Specific Plan District (SPD) to add ± 1.95 acres to the SPD; and (b) amend the SPD Standards Handbook to: (a) eliminate minimum lot size requirements (page 4-1); (b) modify berming requirements and buffering standards when existing trees are preserved (page 4-414-8); and (c) eliminate the requirement for special paving at the major intersections and traffic circle (page 4-13), by ordinance; and
- D. A special use permit to allow non-residential development (single story office buildings of $\pm 18,000$ square feet) located adjacent to residentially zoned property on a ± 37 acre site located on the south side of Del Monte Lane at the southern terminus of Kietzke Lane, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

Dr. David Lowell, D.V.M.

Case No. LDC03-00155 (Mountainview Corporate Center/Castle Creek/Reno Equine Center)

December 3, 2002

Page 2

1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. Within two months of the date of City Council approval, the applicant shall incorporate the revisions contained in exhibits B, C, D and E attached to the November 6, 2002, Planning Commission report; and any revisions made by the Planning Commission and City Council at their respective hearings into the Mountainview Corporate Center and Castle Creek SPD Handbook, to the satisfaction of staff, having the ordinance approved; and the revised sections certified by City Council and recorded. Failure to comply with this time limit shall render this approval null and void.
3. Prior to the issuance of any certificate of occupancy, the applicant shall construct and provide easements for secondary access.
4. Prior to the issuance of a building permit, the applicant shall grant an avigation easement to, and acceptable to, the Airport Authority of Washoe County over the entire property. The applicant shall provide appropriate documentation indicating the avigation easement has been granted and accepted by the Airport Authority of Washoe County.

The zoning map amendment will become effective upon passage and adoption of the appropriate ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Sincerely,



Lynnette R. Jones
City Clerk

LRJ:cdg

xc: Development Services
Traffic Design Engineer
Ed Schenk, Parks, Recreation & Community Services
Julee Olander, Regional Transportation Commission
Templeton Development
Brita Tryggvi, CFA

Lynnette R. Jones

City Clerk
(775) 334-2030
jonesl@ci.reno.nv.us

Carmi D. Gundersen

Chief Deputy City Clerk
(775) 334-2030
gundersen@ci.reno.nv.us

Office of the City Clerk

Central Cashiering (775)334-2032
Parking Tickets (775)334-2279

Steven D. Whitaker, CRM

Records Systems Manager
(775) 326-6633

November 1, 2004

Mountain View Corporate Center
c/o Stacy Lied of Templeton Development
3311 S Rainbow Ste 225
Las Vegas NV 89146

RE: Case No. LDC04-00460 (Castle Creek/Mountain View Corporate Center)

Dear Applicant:

At a regular meeting held October 27, 2004, and following a public hearing thereon, the City Council overruled the recommendation of the Planning Commission and approved the request for rezoning, by ordinance, to allow amendments to the Castle Creek/Mountain View Corporate Center SPD handbook as follows:

- A. Allow 4 story buildings on the 32.99 acre site;
- B. Extend the 90 foot setback requirement for buildings on the south side of the property to apply to all of the southernmost buildings, with an increase in the number of southernmost one-story buildings from three to five;
- C. To increase the potential total square footage to $\pm 483,000$ sq. ft.;
- D. To allow six wall signs per building for the minor tenants in addition to directory signage; and
- E. To allow stucco as a facade material on single story buildings within the development.

Mountain View Corporate Center
c/o Stacy Lied of Templeton Development
Case No. LDC04-00460 (Castle Creek/Mountain View Corporate Center)
November 1, 2004
Page 2

Council also approved the request for a special use permit to allow amendments for the above mentioned requests to an approved special use permit for non residential development adjacent to residentially zoned property south of Del Monte Lane, east and West of Kietzke Lane, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

1. The project shall comply with all applicable City codes, plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports, materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. The applicant shall apply for a building permit for the project within eighteen (18) months of the date of Planning Commission approval, and continuously maintain the validity of that permit, or this approval shall be null and void.
3. The applicant shall submit the revised Development Standards handbook to staff within two months of the date of City Council approval and complete any revisions or corrections required by staff within two months from the date of notification by staff. Failure to comply with either of these time limits shall render the approval null and void.
4. The revised SPD Design Standards shall incorporate the style and location of the four-story buildings to be the two northernmost of the buildings shown as four-story on the originally proposed revision, along with documentation of the increased building sizes as described in the July 6, 2004, staff report along with any revisions incorporated by the Reno Planning Commission and City Council, at their respective public hearings.
5. The stucco shall be formulated in such a way that it appears identical to the EIFS (Exterior Insulation Finish System) on the existing two- and three-story buildings to the satisfaction of Community Development Department. Rather than a roughened or nubby exterior, the finish will be smooth and the stucco shall be tinted to harmonize with the other buildings with the SPD.
6. The applicant shall comply with conditions 6, 7, 8 and 9 of the previous approvals, LDC01-00197, as enumerated in the letter dated January 23, 2001; and restated herein:

- a. Prior to approval of each final map or building permit as applicable, the applicant shall have plans approved demonstrating that adequate detention shall be provided to assure no adverse impact on any other property due to this development.
 - b. Prior to the issuance of a building permit, the applicant shall submit to the City Engineer, verification that the proposed elevation of the finished floor as shown on the plans is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to the issuance of a building permit, the applicant shall submit to the City Engineer, verification that the proposed flood proofing as shown on the plans is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to slab or underfloor inspection, the applicant shall submit to the Community Development Department, verification that the elevation of the finished floor as constructed is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance." Prior to certificate of occupancy, the applicant shall submit to the Community Development Department, verification that flood proofing as constructed is in compliance with R.M.C. Chapter 12.24 "Flood Hazard Ordinance."
 - c. Prior to approval of the first final map and/or issuance of the first building permit, whichever occurs first, the applicant shall verify to City staff that all necessary approvals from the Nevada Department of Transportation have been obtained, including but not limited to: a) Del Monte Lane/Kietzke Lane intersection channelization and traffic control devices; b) traffic studies; c) occupancy permits; d) the provision of adequate storage for left-turning vehicles at the Kietzke Lane/Del Monte Lane intersection; e) access requirements; and f) for any facility encroaching upon State right-of-way and for any drainage disposal in State right-of-way.
 - d. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titled "Inspection, Testing and Verification" and "Quality Assurance Program".
7. The Development Standards Handbook shall be revised to allow a maximum of two non-illuminated signs per minor tenant per building with each sign having a maximum size of twenty (20) square feet. Minor tenants are to be defined in the Development Standards Handbook as occupying less than 10,000 square feet of gross floor area in a two- or three-story building. Two tenant signs per building

Mountain View Corporate Center
c/o Stacy Lied of Templeton Development
Case No. LDC04-00460 (Castle Creek/Mountain View Corporate Center)
November 1, 2004
Page 4

are allowed on one-story buildings, with a maximum size of 20 square feet per sign, to be non-illuminated to the approval of the Community Development Department.

8. Prior to the issuance of any building permit, the applicant shall have plans approved by staff for an 8 foot wide pedestrian path with benches spaces ± 150 feet apart along the 8 foot pedestrian path.

Sincerely,

Lynnette R. Jones
City Clerk

LRJ:cdg

xc: Development Services
Traffic Design Engineer
Jeff Mann, Parks, Recreation & Community Services
Julee Olander, Regional Transportation Commission
Nevada Department of Transportation
John Welsh, Jawa Studio
Brett Scolari, Jones Vargas

SECTION 18.06.300 PERMISSIBLE USES

18.06.301 LAND USE TABLES

Buildings, structures and land shall be used only in accordance with the uses permitted in the following Land Use Tables, subject to all other applicable requirements of this Chapter.

Table One - Interpretation of Land Use Table

Symbol	Meaning
"P"	The use is permitted as a principal use in the zoning district by right.
"A"	The use is permitted as an accessory use to a main use in the district. This does not exclude other land uses which are generally considered accessory to the primary use.
"C"	The use is permitted subject to meeting specified conditions. These conditions are listed in Section 18.06.302.
"SP"	The use is permitted in the zoning district only after obtaining approval of a Site Plan Review as set forth in Section 18.06.1109.
"S"	The use is permitted in that zoning district only after first obtaining a Special Use Permit (SUP) as set forth in Section 18.06.1110.
"*" (by name of use)	Base standards are required for this Special Use Permit approval. These standards are listed in Section 18.06.303.
"+" (by name of use)	Special standards are associated with the use in all Districts. These standards are listed in Section 18.06.304.
	A blank square shall mean that the use is not allowed in that zoning district as a principal use.

Uses are organized alphabetically under broad categories wherever possible as follows: commercial, industrial, public - quasi-public, recreation, residential, service and other.

**Table Two
Land Use Table**

P=Permitted A=Accessory Use C=Permitted with Conditions SP=Site Plan Review Required S=Special Use Permit
 A *** (by name of use): Base standards are required for this SUP approval. A ** (by name of use): Specific standards are associated with use.

OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial								Industrial			
	LLR 2.5	LLR 1	LLR .5	SR 15	SF9	SF8	SF4	MF 14	MF 21	MF 30	HO FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
	S	S	S												C			C	C	C				P P P
											C							P	P	P	P			
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																		C	C					P P
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																		S			A	A		P
											C			A	A	C	P	P	P	A	A			
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											C		P	P	A	P	P	P	A	A				
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OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial								Industrial			
	LLR 2.5	LLR 1	LLR .5	SR 15	SF9	SF6	SF4	MF 14	MF 21	MF 30	HD FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
	S	S	S	S	S	S	S																	
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OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial									Industrial		
	LLR 2.5	LLR 1	LLR .5	SR 15	SF9	SF8	SF4	MF 14	MF 21	MF 30	HD FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
	S	S	S												S	P								
									P	P	P		SP	P	P	P	P	P	P	P	P	P	P	P
	A	A	A	A	A	A	A	A	A	A	A				SP	P	P	P	S					
	S	S	S	S	S	S	S	S	SP	SP	SP		P		SP	P	P	P	S					
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OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial								Industrial			
	LLR 2.5	LLR 1	LLR .5	SR 15	SF9	SF6	SF4	MF 14	MF 21	MF 30	HD FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
	S	S	S	S	S	S	S	S	S	S														
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OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial								Industrial			
	LLR 2.5	LLR 1	LLR .5	SR 15	SF9	SF6	SF4	MF 14	MF 21	MF 30	HD FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
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	C	C	C	C	C	C	C	C					A	A		A	A	A	A	A	S			
P	P	P	P	P	P	P	P	P						P	P	P	P	P						
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	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	P	P	P				
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OS	Single Family Residential							Multi-Family Residential				ALPHABETIZED LISTING	Commercial									Industrial		
	LLR 2.5	LLR 1	LLR 5	SR 15	SF9	SF6	SF4	MF 14	MF 21	MF 30	HD FC		PO	GO	PF	NC	AC	CC	CB	HC	HCD	I	IC	IB
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	P	P	P	P	P	P	P	P																
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	C	C	C	C	C	C	C	C	C	C	C	C		C	C	C	C	C	C	C	C	C	C	C
	P	P	P	P	P	P	P	P	P	P	P													